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## WEST CAMPUS FAMILY STUDENT HOUSING PHASE I DETAILED PROJECT PROGRAM



#### UNIVERSITY OF CALIFORNIA, RIVERSIDE

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This dedicated programming team was instrumental in envisioning and shaping the Family Student Housing community that will be an integral part of realizing UCR's goals. The dedication, vision and efforts of the programming participants have resulted in defining a cohesive, vibrant and important extension of UCR.

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1.0 Introduction

## 1.0 INTRODUCTION

This section contains a description of the overall project program.

## 1.1 **PROJECT SUMMARY**

The University of California, Riverside (UCR) plans for an increase in enrollment to 25,000 by the year 2015-2016 based on anticipated demand for higher education in California increasing over the next ten to fifteen years. The 1990 Long Range Development <u>Plan</u> (LRDP) accounts for an increase to 18,050 students by the year 2005-2006. The 2003 Draft LRDP, currently in the review process, reflects this change.

Essential to fostering this anticipated growth and the new goal of providing campus housing for fifty percent of the students, is the development of the West Campus, as well as expansion of the East Campus housing inventory. The development goal is to create a unified campus consisting of the East and West Campuses with direct and accessible physical connections mitigating the impacts of the I-215/SR 60.

The West Campus is planned as a phased development and will include an academic core, student housing, and a variety of community facilities and expanded infrastructure. The planning has been refined and tested in the <u>West Campus Area Plan</u>, March 2003 and <u>The Strategic Plan for Housing</u>, March 2003.

The first family student housing component known as West Campus Family Student Housing (WCFSH) Phase I is included in the initial phase of development of the West Campus and is scheduled for completion in 2005. It will become a contained, secure family student residential community and will provide needed, proximate, affordable living accommodations for UCR student families. WCFSH Phase I (The Project) will include townhouses and apartments forming a neighborhood that will support the convenience and needs of family living and foster a sense of community. It will be expanded in subsequent phases.

The Phase I project is comprised of:

- Family Student Housing Units
- Child Development Center
- Recreation Fields
- Shared Facilities
- Associated Infrastructure

The development will provide a strong sense of community and a unique identity for UCR family residents through its planning. The project also will establish a strong link with the City of Riverside. The neighborhood's environment and site planning will be enhanced by opportunities for social interaction, cultural diversity and an environment conducive to study through a defined sense of arrival and physical connections to social nodes throughout the neighborhood. The family student housing will to be organized around neighborhood parks that will provide open play and gathering space. Through-traffic to city streets will be minimized.

The Program establishes and defines the Phase I project and budget. The Phase II project is intended to be an extension of this programming.



Figure 1.1-1: West Campus Family Student Housing Site Photo (looking toward the East Campus)

Family Student Housing per the 2003 Draft LRDP (in progress) and Strategic Plan for Housing has been conceived as 714 one, two and three bedroom units configured in two-story townhouses and apartments to be built in two phases.

Phase I housing will increase the family student housing stock and replace outdated units, currently located in the East Campus on a site planned for redevelopment. The units will be designed to accommodate family residents, as well as faculty, should this be desirable in the future.

The Child Development Center will primarily serve the family student housing community and address its needs. It will provide classrooms for children ranging from infants through kindergartners.

The Recreation Fields are planned to support the increasing need for student intramural and club sports. The fields are planned for programmed team

use primarily during evenings and weekends and will be available to housing community residents in the daytime.

Shared Facilities for the housing community Phase I include neighborhood parks, tot lots, a community center with Resident Service Office, a housing maintenance building, mail, trash / recycling areas and bicycle and vehicle parking.

The site is located west of the I-215/60 Freeway one block south of University Avenue, west of Iowa Avenue, north of the new Southwest Mall alignment, and east of Cranford Avenue. The new Northwest Mall will traverse the site from east to west, between the Family Student Housing / Child Development Center sites and the Recreation Fields.

The project includes the development of new roads, the re-design and extension of existing roads and the extension and expansion of components of city and campus infrastructure. The project planning responds to macro scale issues of pedestrian, bicycle, campus and city transit and vehicular movement, as well as to site characteristics such as views, solar orientation, prevailing wind/ventilation, proximity and access to city amenities, schools and campus academic cores.

The master plan and massing of the project are intended to promote a cohesive, pedestrian, UCR family residential community that enhances its context, provides for sustainable design and recalls the rich history of citrus groves in Riverside.

Phase II of Family Student Housing will consist of the balance of the family student units planned, a second Child Development Center and shared facilities. It will be located to the south of the Recreation Fields between the future Southwest Mall and Martin Luther King Boulevard.



Figure 1.1-2: Looking Northeast at the Site Photo

## 1.2 PROJECT GOALS AND PARAMETERS

The following are some of the project goals and parameters that have been identified by the Campus Community:

## **UCR Community Project Goals:**

- Accommodate increased enrollment
- Assist as a recruitment tool for students
- Provide affordable family student residences
- Become an identifiable part of UCR
- Create a secure community for residents
- Establish each phase of family student housing as a complete community within itself
- Add to the context and general neighborhood
- Develop open spaces that support and unify the Family Student Housing community
- Achieve sustainability, maintainability and energy-efficient design
- Limit vehicular trips to the academic core and general campus
- Promote local, slow traffic and the use of bicycles and the campus shuttle
- Take advantage of site views and characteristics
- Design street parking that promotes the sense of a residential neighborhood with internal, open areas for community use
- Provide access/link to off-site schools, shopping, services and the entire campus
- Provide a legible western "terminus" to the West Campus development

These goals and existing UCR planning studies have informed and helped shaped the character and definition of the Detailed Project Program of the West Campus Family Student Housing.

Planning documents include:

- Draft LRDP
- Long Range Development Plan (1990)

(2003)

- West Campus Area Plan (2003)
- Strategic Plan for Housing (2003)



Figure 1.2-1: UCR Child Development Center Play Ground Photo

## Long Range Development Plan (LRDP)

## 2003 Draft (in process)

Expanded objectives for the West Campus Family Student Housing are stated in the Draft LRDP. These include increasing the proportion of oncampus housing to 50%, a benefit that would contribute to:

- Enhanced sense of community on campus
- Availability of activities and amenities at all hours of the day, seven days a week
- Increased opportunities for informal learning among students, faculty and staff
- Increased socializing and socialization of students

# UNIVERSITY OF CALIFORNIA RIVERSIDE

Figure 1.2-2: UCR Campus Entrance Photo

## West Campus Area Plan

## 2003

Primary objectives for the West Campus included in the 2003 West Campus Area Plan:

- To create a sense of completion and place
- To accomplish a critical mass for the creation of a neighborhood through housing, parks, child care and Recreation Fields
- To connect to the West Campus Academic Core through the Northwest Mall and other campus infrastructure
- To be an active part of the City of Riverside
- To add to and benefit from the new West Campus
- To develop cost-effective, well-conceived infrastructure extensions
- To provide a secure and easily accessible community environment
- To create a successful community that is an extension and reflection of UCR as a whole

## Strategic Plan for Housing

## 2003

Included in the 2003 Strategic Plan for Housing is the goal for the residential communities to respond to the needs of the:

- Individual student and student's family
- Residential community
- Connections to the broader campus
- Each residential neighborhood should establish a strong sense of community for the residents and be an integral part of UCR. This goal is met through the development of a planning "block" that includes a complement of functions that creates a cohesive community which is a legible extension of UCR.





## 1.3 PROGRAMMING PROCESS

The program and site concept for the Phase I project have been developed with residents, campus representatives, the Project Programming Committee and Project Management Team (PMT), Child Development Center staff, Recreation staff and Resident Service Office staff through an in-depth process that included:

- Workshops
- Interviews
- Site walks
- Surveys
- Presentations
- Analysis of existing facilities
- Case studies from other campuses
- Planning sessions
- Weekly meetings with project participants
- Coordination with the City of Riverside Public
  Works Department
- Coordination of prior planning studies

The information gathered throughout the process was analyzed in relation to UCR's growth plan, integrated into a cohesive program and reviewed with the programming participants, Project Programming Committee and the Project Management Team.

Detailed program information describing each the family student housing community and each facility type and space, as well as the massing and site organization has been documented in:

Administrative Draft: Draft Review: Draft: DPP: July 10, 2003 August 29, 2003 September 25, 2003 November 10, 2003



Figure 1.3-1: Workshop #3: Housing Photo, June 26, 2003

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## 1.4 PROGRAM COMPONENT SUMMARY

#### Housing

The two family student housing unit types established in the Strategic Plan for Housing are townhouses and apartments. The programming process reconfirmed these.

Planned as a cohesive, secure community and based on the desired density of 30 units per acre, per the Draft 2003 LRDP, a site of approximately 12.25 contiguous acres has been identified and planned for approximately 368 family student units in Phase I.

#### Child Development Center

A Child Development Center for 144 children, ranging from infant through kindergarten ages, is planned for each family student housing neighborhood (two total, Phases I & II). It is intended to serve residents, faculty and staff, as well as the general public if space allows. It will provide the UCR families with exceptional, daily support.

The facility, sited on 1.5 acres, will offer a warm, nurturing environment for children and their families. The Child Development Center will be an integral part of making Phase I of the family student housing into a complete community.

## **Recreation Fields**

UCR Recreation Intramural and Club Sports programs are growing and the integration of university fields with student housing is planned to promote a vibrant, active community and sports' program. With 4 multi-use fields, alternately used as 2 softball diamonds, the residents can enjoy nonprogrammed open space, as well as participate in organized recreation programming. In addition, the 6.96 acres of fields afford the housing additional community open space.

Figure 1.4-1: Canyon Crest Family Student Housing Photo



Figure 1.4-2: Child Development Center Photo

DEVELOPMENT UC RIVERSIDE



## Shared Facilities

The Phase I project incorporates a variety of additional program elements that are shared by the residents, and in certain instances by the Child Development Center and the Recreation Fields. Some of these shared program elements are located within the Housing, Child Development Center and Recreation Field sites. Other shared facilities, including the Neighborhood Parks, the Community Center and the Housing Maintenance Building, will be located on separate sites.

**Neighborhood Parks**, a component of the Open Space Framework of the LRDP, are included in the housing development to accommodate outdoor community activity in sites of about 0.4 acres each (two in Phase 1).

**Tot Lots**, of approximately 0.1 acres, are included in each of the seven family student housing parcels within the "net" site acreage. They will be fenced and provide for outdoor play for young children.

A Community Center is sited in a strategic location visible and accessible from the Northwest Mall and the Child Development Center on a site of approximately 0.15 acres.

The Center will include the Resident Service Office, as well as facilities for community activities and programs.

A Housing Maintenance Building will be located to the west of the family student housing at the intersection of Cranford Avenue and the Northwest Mall on a site of about 0.3 acres. It will include the Grounds and Maintenance Offices, shops and storage to support community functions.

**Mail** delivery will be provided by the United States Postal Service. In addition, UCR mail will be provided in separate boxes for intra-campus mailings **Trash and Recycling Areas** will be located throughout the sites for ease of use and service.

#### Infrastructure

The development, expansion and extension infrastructure is essential to the success of Phase I. The scope includes site utilities, IT systems, street development and improvements, drainage, irrigation and lighting. Availability of city and campus infrastructure has been assessed, and capacity for future development has been accommodated as appropriate to project constraints. The Phase I infrastructure proposed is based on logical, cost effective solutions, with some temporary connections until a time when West Campus development will allow for permanent, cost-effective solutions. The university community goals and the project budget are primary components in shaping infrastructure concept.



Figure 1.4-4: Canyon Crest Neighborhood Park Photo



Figure 1.4-5: Riverside Park Play Yard Photo



Figure 1.4-6: Canyon Crest Tot Lot Photo

Through the programming process, participant input and analysis of current permit sales, it has been determined that vehicle and bicycle parking will be required to support the following:

- Residents
- Visitors
- Child Development Center staff and families
- Recreation Field users
- Community Center staff
- Maintenance staff and service vehicles

The following table summarizes the facilities and sites included in the Phase I project program:

Program Function, Phase I Project	Quantity	Total Site Acreage	Total Function ASF	Total Function GSF
Housing Units	368	12.25	323,370	388,644
Child Development Center	1	1.50	10,201	14,000
Recreation Fields and Site Allowance	4	6.96		
Shared Facilities				
Neighborhood Parks	2	0.80		1,500
Tot Lots (included in housing sites)	7			
Community Center	1	0.15	3,885	5,500
Housing Maintenance Building	1	0.30	2,100	2,800
Mail: US & Intra Campus (included in sites)	36 pairs			
Trash/Recycling (included in sites)	16 pairs			1,900
Parking Spaces (@ Housing, Fields, CDC, Maint. Bldg.)	758	2.44		
Road Rights-of-Way		8.78		
Total		33.18	339,556	414,344

### Figure 1.4-7: Program Component Summary Table

Note:

- Acreage has been rounded to the nearest 100th of an acre and, therefore, is approximate; the total project is about 33 acres.
- ASF/GSF vary from the 2003 Strategic Plan for Housing based on the conclusions of workshops and analysis and are rounded to the nearest square foot.
- Parking is included in Facility Site Acreage and in Road Rights-of-Way, with the exception of the Recreation Fields Lot.



Figure 1.4-8: Site Aerial Photo

1.0 Introduction

2.0 Program Summary

## 2.0 PROGRAM SUMMARY

This section contains a summary of the facility types and the individual spaces in each.

## 2.1 HOUSING UNITS

The Phase I project will provide UCR housing types that are currently not available to its student families. The townhouses and apartments programmed include two and three bedroom units. The introduction of one bedroom units will be explored in Phase II.

Workshops revealed that residents would like each unit to include: a covered patio or balcony, a single living/dining area, a washer & dryer, ample storage and easy access to at least one parking space, within the constraint of maintaining affordable rent.

Accessible units will be provided per Department of General Services requirements and will be sited near parking for ease of access. All upper level apartments should be accessed through creative design solutions.

Based on the overall mix of two & three bedroom units established in the Strategic Plan for Housing and maximizing the number of three bedroom townhouses, the housing unit program model for Phase I is:



Figure 2.1-1: UCR Canyon Crest Family Student Housing Photo

Room Code	Program Function for Family	ASF			
	Student Housing Units	2 Bedroom Apartment	3 Bedroom Apartment	2 Bedroom Townhouse	3 Bedroom Townhouse
982/983/962/963	Entry/Living/Dining (w/ closet)	260	260	260	260
982/983/962/963	Kitchen (w/ laundry & pantry)	104	104	104	104
982/983/962/963	Bedroom I (w/ closet)	176	176	176	176
982/983/962/963	Bedroom II (w/ closet)	135	135	135	135
983/963	Bedroom III (w/ closet)		135		135
982/983/962/963	Bathroom I (full)	40	40	40	40
982/962	Bathroom II (1/2)	25		25	
983/963	Bathroom III (3/4)		40		40
962/963	Internal Circulation (allowance)	40	55	105	120
982/983/962/963	Covered Patio (@ 50%)	30	30	30	30
	Unit ASF	810	975	875	1,040
	Unit GSF	1,013	1,219	972	1,156
	Quantity of Units	190	58	72	48
	Total ASF per Unit Type	153,900	56,550	63,000	49,920
	Total GSF per Unit Type	192,470	70,702	69,984	55,488
	Grand Total GSF				388,644

#### Figure 2.1-2: Housing Units Program Functions Table

Notes:

- The "Room Code" column references room use codes and definitions in compliance with CPEC reporting requirements.
- Room Code 982 refers to two bedroom apartment units. Room Code 983 refers to three bedroom apartment units.
- Room Code 962 refers to two bedroom townhouse units. Room Code 963 refers to three bedroom townhouse units.
- The gross square feet (GSF) of each unit type are rounded to the nearest foot.
- The efficiency of the unit types may vary, as a result of the internal stair in the townhouse unit (ASF) and the external stairs/landings/walkways required for apartment buildings (GSF). The target unit (GSF) is based on 80% efficiency as established in <u>The Strategic Plan for Housing</u> in the apartment units. The townhouse units are based on 90% efficiency due to the unit internal stair. The efficiency applied to all unit types is intended as an average. The average unit (GSF) per program Mix is 1,056.
- No additional area is included for open "volume" spaces and internal townhouse stair area is taken on one floor.
- For this building type only (housing units) the ASF is inclusive of covered patio/balcony area.
- Laundry rooms will be included in the project's shared facilities in the event that washers and dryers are not provided in each unit. This will
  be determined through value engineering in the design phases of the project.

## 2.2 CHILD DEVELOPMENT CENTER

One Child Development Center is planned in the Phase I project and will accommodate 144 children: infants through kindergartners.

The Center will be an asset to Family Student Housing, providing families with a licensed childcare facility within walking distance of their homes. The Center should be a place for children to thrive socially, emotionally, intellectually and physically. Family support should be afforded, as well as social interaction, cultural diversity and continuity of care.

The Child Development Center should make children and parents feel welcome. It should be spacious, light, open and airy, integrating indoor and outdoor environments.

The facility is programmed as a single story building situated on the northwest corner of the intersection of Iowa Avenue and the Northwest Mall. Parking for drop-off and pick-up, visitors and Community Center users will be provided on site. Staff parking will be accommodated across the Northwest Mall, in the Recreation Fields Parking Lot.

The Child Development Center has been defined through the programming process. Room types and functions, as well as overall facility requirements have been established. Security is critical to this facility design. A single, secure entry point must be provided and the entire facility must be secure.

Room	Program Function, Child Development Center	Quantity	Room	Total	Child
Code			Type ASF	ASF	Occupancy
670	Infant Room	1	800	800	12
670	Mother's Room	1	100	100	
670	Toddler Room	1	540	540	12
670	Toddler II Room: Older Toddlers or Pre-School	1	930	930	24
670	Pre-School Room	3	930	2,790	72
670	Kindergarten Room	1	960	960	24
675	Observation Rooms (Pairs)	5	80	400	
675	Storage Closet @ Classroom	7	30	210	
670	Children's Restrooms at Classrooms	7	75-123	801	
670	Curriculum Room	1	255	255	
675	Entry/Lobby/Stroller Storage	1	270	270	
675	Reception	1	220	220	
320	Offices	2	120	240	
335	Copy Center	1	100	100	
670	Isolation/Small Conference Room	1	70	70	
340	Conference/Multi-Purpose Room	1	380	380	
675	Staff Lounge	1	225	225	
675	Facility Storage Room	1	265	265	
675	Kitchen/Pantry/Loading	1	375	375	
675	Laundry	1	72	72	
675	Maintenance/Access Control Office	1	75	75	
675	Staff Restroom	1	123	123	
	Subtotal of Functions included in ASF			10,201	
	Total GSF			14,000	

Play Yards (minimum 75 s. f. / child) including Covered Play Areas

10,800

## Figure 2.2-1: Child Development Center Program Functions Table

Notes:

- CDC is based on a comparable efficiency to the existing CDC for 144 children.
- ASF in classrooms per Title 22 differs from ASF shown above. Each classroom ASF above incorporates some storage such as cabinets, kitchenette and changing area that are in addition to the Title 22 ASF indoor activity area requirements of 35 s. f. / Child.
- Covered outdoor play area of 2,000 GSF is included in the site development budget.
- General building "public" restrooms, mechanical, electrical, IT, access control, janitor closet, walls & structure and covered patio are included in GSF (typical all function types).

## 2.3 RECREATION FIELDS

The Recreation Fields program includes four multiuse soccer fields, alternately configured as two softball fields for UCR's Recreation Intramural and Club Sports Programs.

Each of the four soccer fields will be 66 x 120 yards in a north/south orientation, including buffer zones. A site allowance totaling 0.4 acres is provided for flexibility in the design of the facility. Lighting will be provided to allow evening and nighttime use of the fields, and should be positioned to allow for the alternate field configurations while maintaining lighting appropriate to the surrounding residential neighborhood.

A fence with lockable gates for security and unauthorized access will secure the four fields. Temporary, plumbed restroom facilities will be provided on the open site due west of the Recreation Fields and Fields parking lot, on Cranford Avenue. Permanent restrooms are planned to be included in the Recreation Facility in a future phase.

Intramural programming will be held primarily during the evening and at night. Throughout the day, residents and the Child Development Center of the West Campus will be encouraged to use the fields as an additional neighborhood park.

The Recreation Fields will provide needed additional space for the growing recreation programs at UCR, for camp programs as desired and be a general amenity for the West Campus.

Room Pi	rogram Function, Recreation Fields	Quantity	Function Type	Total
Code			Acreage	Acreage
So	occer Fields	4	1.64	6.56
Si	te allowance (North and South of fields)	1	0.40	0.40
Te	emporary Restrooms (sited west of Fields & Parking Lot)	2		TBD
Тс	otal Acres			6.96

#### Figure 2.3-1: Recreation Fields Program Functions Table



Figure 2.3-2: UCR Recreation Field Photo

## 2.4 SHARED FACILITIES

<u>Neighborhood Parks</u>, will be centrally located and easily accessible open areas for outdoor community recreation. The two parks programmed will be lighted for evening use.

Room Code	Program Function, Two Parks	Quantity	Facility Type GSF	Total GSF
	Public Restrooms/Vending/Covered Picnic Area	2	750	1,500
	Pool and / or "water park" elements (TBD)	1		
	Bar-B-Q's	4		
	Play Equipment for older children	2		
	Total GSF		-	1,500

#### Figure 2.4-1: Neighborhood Park Program Functions Table

<u>Tot Lots</u> are planned to complement the Neighborhood Parks, providing for fenced, secure play areas for young children. There are to be seven tot lots in the Phase I project. One tot lot is incorporated into each housing parcel.

The Community Center is a vital component of the Family Student Housing Program, enhancing the neighborhood by providing a space for community activities and the Resident Service Office. By locating the Resident Service Office in the family student housing community, the residents will be ensured accessibility to Resident Service Office staff. The staff will utilize this facility to help build a strong community environment through planned academic, cultural, recreational and social activities. The familyoriented activities will enhance the lives of West Campus residents and their families.

Room Code	Program Function, Tot Lots	Quantity
	Fenced Play Area and Equipment	7
	Total	

## Figure 2.4-2: Tot Lots Program Functions Table

Room Code	Program Function, Community Center	Quantity	Room-Type ASF	Total ASF
620/610	Multi-Purpose Room	1	1,200	1,200
410	Computer Lab	1	350	350
410	Library	1	400	400
615	Kitchen	1	220	220
N/A	Lobby & Vending	1	300	300
320	Resident Service Office Reception	1	100	100
320	Resident Service Offices	4	110	440
335	Staff Lounge & Kitchenette	1	195	195
335	Copy & Work area	1	80	80
340	Conference Room	1	300	300
335	Staff Restrooms	1	140	140
335	Facility Storage Room	1	160	160
	Subtotal of Functions included in ASF			3,885
	Total GSF			5,500

Figure 2.4-3: Community Center Program Functions Table

## <u>The Housing Maintenance Building</u> and yard, located at the northwest intersection of Cranford Avenue and the Northwest Mall, will support the Housing, Maintenance and Grounds Departments, all Phase I facilities and Recreation Fields Storage.

Room Code	Program Function, Housing Maintenance Building	Quantity	Room Type	Total
Coue			AƏF	ASE
320	Offices: Maintenance & Grounds	2	80	160
335	Staff Break Room	1	200	200
525	Maintenance Shop	1	150	150
525	Grounds Shop	1	150	150
525	Grounds Equipment Room	1	900	900
525	Recreation Field Storage Room	1	240	240
N/A	Telephone Switch Room	1	300	300
	Subtotal of Functions included in ASF			2,100
	Total GSF			2,800

#### Figure 2.4-4: Housing Maintenance Building Program Functions Table

Room Code	Program Function, Mail	Quantity	
	US Postal Boxes		
	Housing (@ building)	33	
	Child Development Center, Community Center, Housing Maintenance Bldg.	3	
	Intra-Campus Postal Boxes		
	Housing (@ building)	33	
	Child Development Center, Community Center, Housing Maintenance Bldg.	3	
	Target Total	36 pairs	•

## Figure 2.4-5: Mail Program Functions Table

Room Program Fu Code	nction for Trash & Recycling	Quantity	Facility Type GSF	Total GSF
Trash/Recy	cle Bin Enclosures			
Housing &	Community Center (7-14 locations)	14 pairs	100	1,400
Child Deve	elopment Center	1 pair	100	100
Housing M	laintenance Building	1 pair	100	100
40 cu. yd. D	umpster Enclosure (in housing site)	(1*)	300	300
Total		16 pairs*		1,900

#### Figure 2.4-6: Trash & Recycling Areas Program Functions Table

\*Note: 40 cu. yd. Dumpster to be located with one housing trash/recycle enclosure

UCR WEST CAMPUS FAMILY STUDENT HOUSING DETAILED PROJECT PROGRAM

**Mail** will be serviced by the United States Post Office and mailboxes will be located throughout the sites. Locations will be dependent on site plan design and postal delivery criteria at the time of design. An intra-campus mail receptacle will be provided at each location.

Trash & Recycling Areas associated with the housing, includes one pair of trash and recycling containers for approximately every 26 units, located as appropriate to the site plan, plus one 40 cubic yard dumpster for disposal large items such as furniture. There are two additional pairs in the project: one located at the Housing Maintenance Building and one at the Child Development Center.

## 2.5 INFRASTRUCTURE AND PARKING

## **Infrastructure**

Phase I site utilities, communication and security infrastructure equipment in Phase I will be located appropriate to the site and facility design (see Section 5). Street design within the community will be residential in character and maintain established guidelines (see Section 4).

#### Parking

Each program function will be provided with parking. Each housing unit will have one on- site parking space in on-street parallel parking or small lots. Additional dedicated resident parking will be provided at the Fields Parking Lot for families with a second car. In Phase II this may be expanded by 173 spaces for residents. Parking is planned with up to 40% compact spaces designated in the surface parking lots. Parallel street parking is based on 23 feet per stall. Accessible, vanpool and electric car spaces are to be accommodated throughout the project.

Site & Users	Parking Spaces
Housing (Residents)*	368
CDC (Families & CC users)	30
Fields Lot	
Residents (2 <sup>nd</sup> car at 50%)	184
Housing Guests/Field Users	130
CDC & RSO Staff	36
Housing Maintenance Building (Staff)	10
Total Spaces	758

Figure 2.5-1: Parking Count Table \*Everton Place parking spaces are not included

**EVERTON** NW MALL CRANFORD IOWA Resident (On-Street) Resident (Parking Lot) Resident, Visitor, CDC and RSO Staff and Recreation Field User CDC Family and CC User Maintenance Staff and Service Vehicle

#### Figure 2.5-2: Parking Diagram

2.0 Program Summary

## 3.0 SITE AND PROJECT ANALYSIS

Existing site conditions and criteria influencing development are identified in this section and the physical site is defined.

## 3.1 LOCATION AND CONTEXT

## **Location**

The site is located west of the I-215/60 Freeways, along the northern border of the new UCR West Campus in the City of Riverside. It is one block south of University Avenue and west of Iowa Avenue.



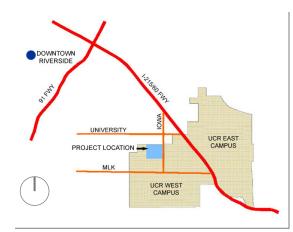


Figure 3.1-1: Vicinity Map



Figure 3.1-2: Intersection of Iowa Ave & University Ave Photo



Figure 3.1-3: Downtown Riverside Photo

## <u>Context</u>

The 2003 West Campus Area Plan establishes the parcels east and west of the Phase I Family Student Housing and Child Development Center sites as UCR Student Apartment Housing. The Recreation Fields, sited south of the family housing, are bordered on the west by a campus reserve area, on the east by a future Recreation Center site and on the south by the Phase II Family Student Housing.

The pervasive, distinctive landscape in the immediate area is the citrus grove, which is to be reflected in the landscape design of the Family Student Housing. South of the Family Student Housing Phase II Site and Martin Luther King Boulevard, the University's agricultural teaching and research fields will be maintained and remain as a natural, historical resource. In addition, the semi-arid desert scape is an integral landscape characteristic of the region and should be incorporated in the site design.

Public school facilities in the area include the nearby Emerson Elementary School, University Heights Middle School and North High School. Commercial facilities include University Avenue's shops and restaurants.

In addition to the planned university housing, there is privately owned and leased off-campus housing in the area.

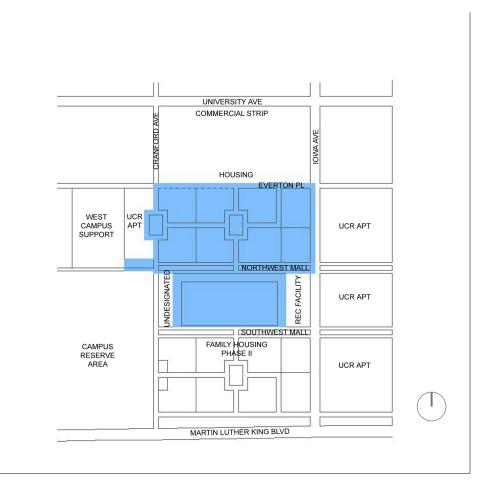


Figure 3.1-4: Phase I: Context and Extent of Development Diagram



Figure 3.1-5: Phase I: Five and Ten Minute Walking Radius Diagram and Context Photos

## 3.2 SITE DEFINITION

## **Basis for the Site Plan Dimensions**

The West Campus Area Plan and the Strategic Plan for Housing include site plan information that has been extrapolated and integrated with the campus topographic survey and the aerial of the site to define the site.

The site dimensions are based on the Site Survey, dated August 19, 2003. Building setbacks are represented from street frontages at 5 to 10 feet for local & internal roads and 20 feet at Iowa Avenue the Northwest Mall (see Section 4), per prior planning documents.

It should be noted that the planning per the 2003 Strategic Plan for Housing included local roads at 38 feet curb-to-curb. The 2003 Draft Long Range Development Plan and the 2003 West Campus Area Plan reflect a right-of-way of 60 feet (including sidewalk and planting strip). The acreage reflected in Figure 3.2-1 is based on the "net" site areas exclusive of streets, on-street parallel parking, sidewalks and planting strips, and the unit density derives from this.

The site plan contained in the program is for planning purposes only and should not be relied on. At the outset of design phases any additional survey information and delineation of property lines should be developed. The total number and mix of housing units should be confirmed at that time.

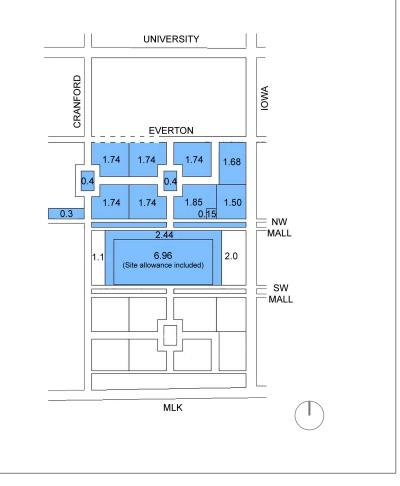


Figure 3.2-1: Phase I: Site "Net" Acreage Diagram

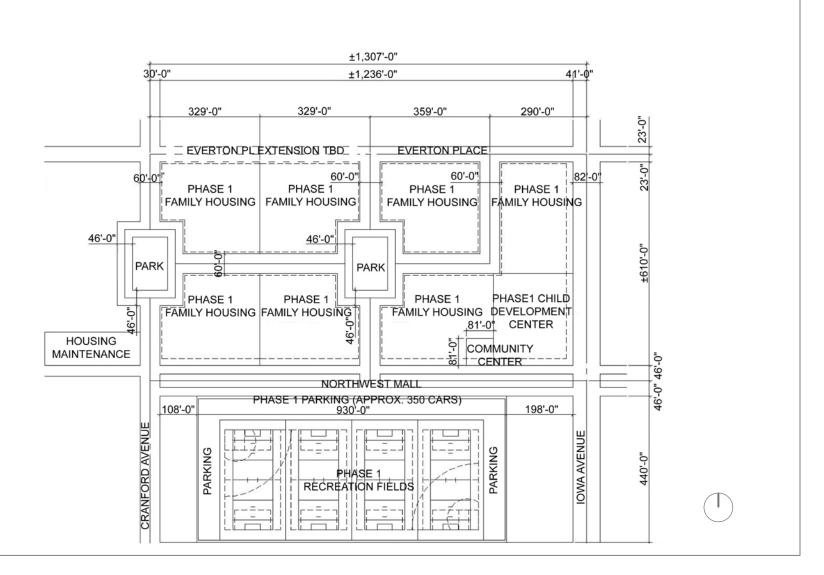


Figure 3.2-2: Phase I: Dimensioned Site Diagram

## 3.3 SITE CHARACTERISTICS AND OPEN SPACE

For the purposes of design, the site is flat and drains naturally to the southwest. The site is currently planted primarily with citrus trees and row crops and does not have paved vehicular circulation or on-site utilities.

The existing site condition readily lends itself to the proposed development. The site planning includes quiet residential street development with a variety of community open spaces. Neighborhood parks and tot lots are included in the site design program of the family student housing, in addition to ample community greens surrounding the townhouses and apartments.

The spacious, well-planted Northwest Mall will become the primary east/west link to the West Campus Academic Core and major drainage channel for the area. It will be introduced in the Phase I project.

Nearly seven acres of Recreation Fields will afford a major open space and panoramic views of the mountains for the residential neighborhoods.

The sites west and south of Family Student Housing Phase I will remain undeveloped during this phase and major areas of citrus groves will be maintained for the foreseeable future in campus reserves and experimental groves.



Figure 3.3-1: UCR West Campus Aerial Photo

## 3.4 NATURAL SITE ATTRIBUTES

To the north and east are open, expansive views of the San Bernardino and Box Spring Mountains. To the east are glimpses of the UCR East Campus including the Carillon, as well as the future West Campus Academic Core. Views of citrus groves are predominant.

The prevailing winds are from the northwest.

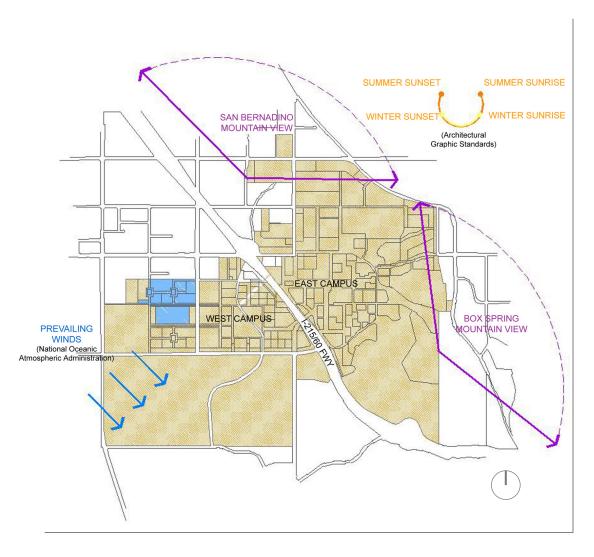






Figure 3.4-1: View to the Northeast Photo

## 3.5 ACCESSIBILITY

All facilities shall conform to the Regulations for the Accommodation of the Disabled, Title 24, California Administrative Code (including provisions of the Americans with Disabilities Act Accessibility Guidelines for Building and Facilities) and other applicable codes and regulations. (See Section 3.7 for applicable codes and standards.)

The project shall be designed with universal site accessibility. Accessible units and units for the hard of hearing will be provided per code with accessible parking spaces for automobiles and vans.

Early in the design phase, the Department of General Services, who will be reviewing the project for accessibility compliance, should be consulted on the location of accessible units and the requirements for upper level accessible units, as well as universal access to all units. (A unit cost for elevators and minor bridging between buildings is included as an alternate budget item.)

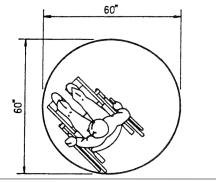


Figure 3.5-1: 60-Inch Diameter Space Diagram Diagram from the 2001 California Building Code

## 3.6 SUSTAINABILITY

Sustainable design is a priority of this project. Compliance with the intent of the LEED program to achieve environmentally responsible development is to be implemented. Implementation of this goal on the West Campus will help to convey the University's values

The LEED rating system for performance in 5 categories is useful as a guide:

- Sustainable Sites
- Water Efficiency
- Energy and Atmosphere
- Materials and Resources
- Indoor Environmental Quality

UCR is committed to creating a community that responds to the need to reduce the impact on natural resources and the environment. To achieve this goal, various provisions should be undertaken in the design and construction.

## <u>Site</u>

- Provide landscape materials which provide shade, are drought tolerant, are non invasive and prevent erosion
- Provide collection stations for recycled materials
- Design to encourage pedestrians and bicyclists and the use of alternate modes of transportation
- Design for low site disturbance and storm water management
- Light the sites with energy conserving fixtures and manage with energy conserving controls

## **Buildings**

- Provide orientation to utilize solar energy, solar control and prevailing breezes
- Provide for natural light
- Provide insulation to exceed Title 24 standards
- Select materials which are environmentally sensitive
- Provide structural systems to minimize use of materials
- Use natural materials
- Use materials with recycled material components
- Use solar glass and overhangs

## Systems

- Specify water efficient fixtures
- Consider high efficiency mechanical and electrical equipment
- Provide energy management control systems
- Provide water conservation devices
- Provide renewable energy sources such as solar heated water
- Employ natural ventilation systems

## **Construction**

- Recycle waste construction materials: waste management
- Provide area for collecting and managing recycling of waste material
- Use local and regional materials, as well as renewable materials

# 3.7 REVIEWS, CODES AND REGULATIONS

# **Campus Fire Marshal**

UCR is under the jurisdiction of the California State Fire Marshal (CSFM) with drawings and specifications being reviewed and approved on the UCR campus by the Campus Fire Marshal. Access for fire fighting equipment is to comply with the City of Riverside County Fire Department criteria.

# **Department of General Services**

The Department of General Services is the reviewing agency for the Campus as to accessibility only. Plans and specifications will be submitted to it for its approval per applicable codes.

# **Environmental Health and Safety**

UCR will determine if Campus Environmental Health and Safety review is required.

# Structural Peer Review

Design and Construction projects for UCR will be subject to Structural peer review

# UCR Design Review Board

The DRB will review and comment on DPP.

# UCR Capital Program Advisory Committee (CPAC)

CPAC will have final campus approval.

# Applicable Codes & Standards

Applicable codes and standards shall be confirmed by the campus, including, but not limited to:

- Titles 8, 12, 19, 22 & 24, California Building Code
- UC Seismic Standards
- Federal requirements of Section 504 of the 1973 Rehabilitation Act

- Federal Fair Housing Amendments, 1988 (FFHA)
- Title II of the 1990 Americans with Disabilities Act (ADA)
- Refer to Section 5 for additional relevant Codes and Regulations

A comprehensive Code analysis is required at the outset of design to establish all governing codes and regulations. Refer to <u>http://www.dsa.dgs.ca.gov/</u> Publications: Official Comments for a comprehensive, current accessibility checklist. DPP November 2003

# 4.0 BASIS OF SITE DESIGN

This section defines the general site requirements of the program elements.

# 4.1 SITE PLAN ELEMENTS

# Housing

Phase I Family Student Housing is planned to achieve a density of 30 units per "net" acre per the 2003 Draft Long Range Development Plan. The "net" acreage is defined as including the supplemental surface parking lots required to accomplish the desired on-site parking count (supplementing the on-street street parking) and excluding the neighborhood parks and road rightsof-way.

The 368-unit Phase I Project requires 12.25 "net" acres and constitutes more than 50% of the total 714 Family Student Housing units planned for the West Campus. The Family Student Housing Phase II Project development will be comprised of an additional 346 units and will require 11.5 "net" acres.

The density developed in the Strategic Plan for Housing was greater than 30 units per acre and that planning included 25% two-story townhouses and 75% three-story apartment buildings. Program workshops revealed that while open space is important to the residents, two-story massing is preferred over three-story. In order to accommodate density and massing goals, certain parcels formerly designated for Student Apartment Housing have been included as Family Student Housing sites. In the Design Phase site design opportunities, including some three-story apartment buildings, should be explored.

The Phase I Housing Unit Program Model includes 33% townhouses bordering the neighborhood parks and 67% apartments in two-story massing. The Strategic Plan for Housing establishes the planning premise for the two unit types. Townhouses are

sited back-to-back. This configuration allows for one window façade per unit, except in the "end" units. Therefore, the three bedroom units are located at the building ends. Apartments are configured along double-loaded corridors. Both planning premises have been tested, maintained and developed further in the program.

The two-story, two and three bedroom townhouse unit footprints are potentially  $22' \times 30'$ , allowing for flexible distribution of bedrooms and varied façade lines.

The stacked two and three bedroom apartment unit footprints are potentially 24'-26' deep by 35' and 45' respectively. These footprints allow for varied façade lines and unit organization. Accommodation of an enhanced building circulation system is in addition to this area and included in the unit GSF.

The program site concept affords the opportunity to achieve a substantial number of end units for flexibility in unit mix.

Each unit should have access to:

- Secure outdoor yard space for young children (Tot Lots)
- Individual, covered outdoor areas including balconies for upper level apartments
- Housing cluster yards
- Centrally located Neighborhood Park(s),
- One proximate parking space per unit and one additional space for every two units within the Phase I project
- Visitor parking within the Phase I project

 Bicycle parking at every building, preferably under cover

# Child Development Center

The Child Development Center Site is 1.5 acres and accommodates the desired single-story, 14,000 square foot building with secure play yards. The site is located at the southeast corner of the housing development at the intersection of Iowa Avenue and the Northwest Mall. Access and identity of the facility is to be from the Northwest Mall. It is essential that its design provide for security. The site planning and facility design is intended to shelter the play yards from view of Iowa Avenue and the Northwest Mall.

The facility is intended primarily to serve the residents of family student housing. Adjacency to and shared use of the Community Center is desired for the potential of an Extended Day Program. Onsite family and Community Center parking is provided. Staff parking is sited across the Northwest Mall in the Recreation Fields Parking Lot.

# **Recreation Fields**

The Recreation Fields will include four fenced, lighted and scheduled multi-purpose fields that are oriented north/south for optimum solar orientation. Two softball diamonds are included at opposite corners of the four fields for alternate scheduling. The site has been determined by the individual field size of 66 x 120 yards. It is programmed as a 6.56 acre site plus a site allowance of 0.4 acres to accommodate desired site depth appropriate for the adjacent student apartment development and spectator/gathering area. Bordering the fields on the west, north and east is double-loaded parking to

help accommodate the Phase I project parking requirements. The overall site for the Recreation Fields, including the site allowance, and the Fields Parking Lot is approximately 9.40 acres. (See Section 6.3 for field construction.)

# **Shared Facilities**

**Neighborhood Parks** are designated as a part of the UCR Open Space Framework of the 2003 Draft Long Range Development Plan and are sited and sized per the planning documents. The two parks included in the Phase I project are 0.4 acres each, with shade trees, turf, play equipment for older children, barbecues, restrooms and shaded picnic areas for general family use. During the design of the Phase I project, consideration should be given to the incorporation of a swimming pool and / or "water park" elements into one of the neighborhood parks, as the budget allows.

**Tot Lots** are planned for 7 locations: one within each housing parcel. They are included in the housing site "net" acreage and planned to be about 0.1 acres each, with fencing, benches and age appropriate play equipment for young children. Their designs should include shade trees and childfriendly landscape. Themed designs are encouraged.

A Community Center is sited on 0.15 acres and located to be visible from the Northwest Mall and adjacent to the Child Development Center for shared use. It will include the Resident Service Office, a multi-purpose room, a computer lab, conference room and vending.

**A Housing Maintenance Building**, a one-story facility located on the westernmost site of Phase I, is adjacent to the site for the future campus-wide

general support area and is accessible from the Northwest Mall and Cranford Avenue. It will include offices, storage, shops and work yard on a 0.3 acre site. The yard should be located, lighted, fenced and landscaped appropriate to a residential community and to minimize visibility.

**Mail** is to be sited per United States Postal requirements and is included in the site area of each function. Additional boxes for intra-campus mail should be provided at each location per campus guidelines.

**Trash and Recycling Areas** will include one or two pairs of bins in walled and gated enclosures located appropriate to the site design and maintenance vehicle access. Their area is included in the "net" site areas. Seven to fourteen locations, plus one location for a 40 cubic yard dumpster for disposal of large items should be provided within the housing site. The Community Center will make use of the housing bins. The Child Development Center and Housing Maintenance Building will have one pair and enclosure each.

# **Infrastructure**

On-site systems equipment and any enclosures are to be located appropriate to the site design and are to be sited unobtrusively, with neighborhood safety as a primary concern. Street design within the community will have limited connections to the surrounding city road network and be designed to discourage though traffic. Street design must also satisfy Fire Department access requirements. Street rights-of-way and lighting are to maintain UCR guidelines. Site setbacks from the Northwest Mall should be developed to accommodate the future utilities installation in a future phase.

# Parking

In addition to that provided on-site, Phase I parking will be accommodated in a lot of 2.44 acres along the north, west and east borders of the Recreation Fields for shared use by residents, guests, Recreation Fields users and Child Development Center and Resident Service Office staff. The housing neighborhood will provide for resident parking only. The Child Development Center site will provide parking for pick-up and drop-off of children and shared use by Community Center. The Housing Maintenance Building site will provide staff and service vehicle parking. All parking should be designed to conform to Campus Parking requirements.

4.0 Basis of Site Design

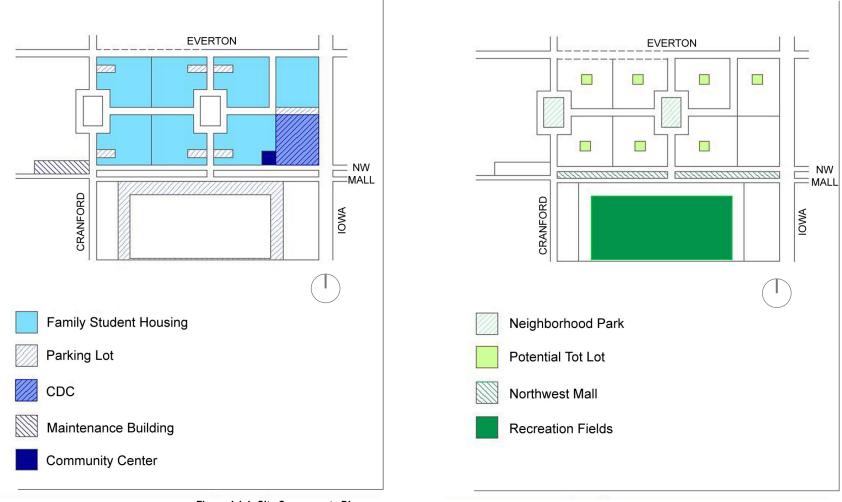


Figure 4.1-1: Site Components Diagram

Figure 4.1-2: Open Space Components Diagram

# 4.2 SITE ACCESS, CIRCULATION AND WAY FINDING

#### **Streets**

**Iowa Avenue**, a city street at the project's eastern border, may become an improved two-lane roadway with landscaped median, or it may become a four-lane street. In either case, there will not be direct through traffic from Iowa Avenue into the family student housing community. In Phase I Iowa will provide access to the Northwest Mall and Everton Place. Its improvements are to be determined with the City of Riverside. The Phase I project includes improvements of Iowa Avenue (to its centerline) between Everton Place and the Northwest Mall, including the intersections.

**Everton Place**, a city street to the northeast of the site, will be extended as a campus local access road from Iowa Avenue west. It will form the northern border of Phase I and may be designed as fire/emergency service access way from the midpoint of its extension, west to Cranford Avenue.

**Cranford Avenue**, a city street to the west of the site, will be extended as a campus local access road along the western perimeter of Phase I housing. It is intended for residential, emergency and service access.

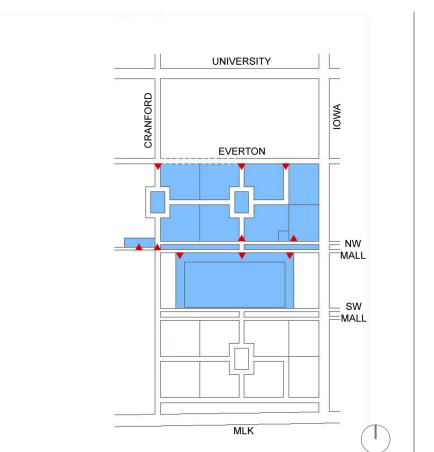


Figure 4.2-1: Phase I: Vehicular Access Diagram

The Northwest Mall will provide access to the Phase I project and include a richly landscaped zone, accommodation for existing area drainage, vehicular and bicycle lanes and pedestrian ways and will link the Family Student Housing to the West Campus Core. In Phase I the Northwest Mall will be developed between Iowa and Cranford Avenues. including intersections, traversing the Phase I project along the northern border of Recreation Fields and parking. The Northwest Mall will provide vehicular access to the Housing, Child Development Center, Recreation Fields, Community Center and Housing Maintenance Building. The number and location of median breaks in the Northwest Mall should be studied in the Design of the project in order to develop safe, easy and logical vehicular access and phased circulation in a secure residential neighborhood.

Note: The alignments of the Northwest and Southwest Malls will be established in the design phase. The Phase II housing acreage and the north/south site dimension established for the Student Apartment parcels to the east will be determining factors.

The Southwest Mall will be developed with Family Student Housing Phase II. In Phase I, a temporary drainage swale will be constructed in its future alignment. The swale will be developed west of lowa along the southern perimeter of the Recreation Fields to convey drainage and protect the groves in the area from any runoff. In a future phase, the development of the Southwest Mall will provide additional direct Recreation Field and parking lot access. Local Access Streets are programmed to provide for slow traffic with on-street parallel parking to increase the residential character of the neighborhood. Resident, emergency, service, loading and fire access is to be provided throughout the community. Users of the Recreation Fields and visitors will be discouraged from driving into the housing area. The Child Development Center will provide independent vehicular access and circulation, and will be designed to discourage through traffic but allow convenient pedestrian access for housing residents.

# Emergency Access

Fire Department access and fire hydrants are to be provided such that access and locations are within a 150-foot "hose" length of any part of any structure. Access is to be provided in a twenty-foot right-of-way (minimum). Dead-end access points in excess of 200 feet must be provided with turn-arounds or hammer heads. Emergency access will be dependent on the fencing and landscape design of any site.



Figure 4.2-2: Experimental Groves Photo

Refer to the Draft LRDP for streetscape design and sections.



Figure 4.2-3: Iowa, East Edge of Site, Photo

# <u>Bicycles</u>

Bicycling will be encouraged through the incorporation and improvement of bicycle lanes into the design of the Northwest Mall, Iowa Avenue, University Avenue and Martin Luther King Boulevard in order to facilitate family resident movement to and from the West and East Campus cores. Iowa Avenue will be planned for easy bicycle crossings. Bicycle lane links between Housing Phases I and II should be planned for. All Phase I sites will provide ample areas for bike parking. If the housing project is gated and fenced, cyclists will be provided with controlled, gated access.

#### **Pedestrian Access**

The community design should include identifiable, easily accessible pedestrian ways. The Phase I project is planned to provide visitor parking at the Recreation Fields Parking Lot, with pedestrian access to the housing sites, as well as resident pedestrian access to the Child Development Center, the Recreation Fields and Community Center. If the housing project is gated and fenced, pedestrians will be provided with controlled, gated access.

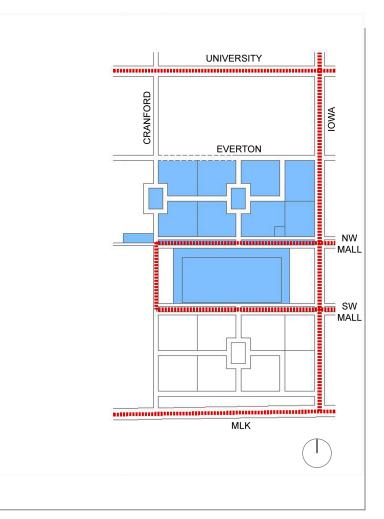


Figure 4.2-4: Phases I & II: Bike Path Diagram (Per Fig. 15 of West Campus Area Plan)

# <u>Transit</u>

**Campus Shuttle** service is planned for the Phase I project with shuttle stops along the Northwest Mall. **Local City Buses** are available to residents.

<u>"Wayfinding"</u> is an important feature in the project. Physical site planning and signage will be important to assist visitors to and within the neighborhood. All signage is intended to be consistent with a residential community and site planning should foster entry identity.

Security of the Phase I project is essential to the campus community. Whether the family student housing sites are developed as a fenced and gated community or not, it is important that site design include planning that is security-conscious. The extent of the fencing and gating of the housing sites will be determined in the design of the project. Fencing of housing clusters or an entirely fenced neighborhood is to be evaluated. Fencing of the housing sites is in the budget as an alternate. The Child Development Center, Recreation Fields and Maintenance yard are to be fenced and gated. In addition, the continuous perimeter fencing of the Agricultural Research and Teaching Fields must be re-established including the balance of the Southwest Mall alignment between and along Cranford and Iowa Avenues. Access to the Fields parking lot may be controlled with landscape buffers and gated drives. Security conscious site lighting and site planning that allows for visibility of outdoor areas should be incorporated into the design.



Figure 4.2-5: Shuttle Transit Route Diagram (Per Fig. 16 of West Campus Area Plan)

# 4.3 LANDSCAPE AND LIGHTING

#### **Landscape**

With its citrus history and semi-arid desert climate, the West Campus has exceptional examples of existing landscape from which to draw.

The natural systems of the semi-desert landscape include areas of arid earth and arroyos, which provide for water run-off during the brief periods of rain. The arroyos are not only the natural drainage systems of the region, but are also colorful markers establishing points of interest within the larger landscape. Often the arroyos are characterized by seasonal color change and are comprised of granite boulders, sandy bottoms, and vegetation, such as willow, sycamore and mulefat. Incorporating these regional landscape features into the design of the West Campus is important not only in terms of sustainability, but also as an opportunity to give the new West Campus its own unique character.

In addition to the natural systems, the area's landscape history includes human shaping of the land, most notably, through the distinctive elements of the citrus groves and the long linear roads that result.

The West Campus, with its striking semi-desertscape and citrus grove legacy, will stand in contrast to the East Campus, which draws on the landscape traditions of east coast American campus design and traditions that assume a landscape of abundant rainfall and result in large grassy areas and shade trees.

As a means of linking the East and West Campuses visually, specific locations within the West Campus should be chosen and developed as moist green

courtyard gardens. These cool protected environments also draw from the local architectural history of the mission style and will become intimate outdoor spaces for study and family recreation.

Safety and security should be emphasized in the landscape design through ample lighting on public malls and open spaces, attention to visibility and sight lines, elimination of large isolated areas and a focus on pedestrian safety in the design of vehicular and bicycle circulation.

# Lighting

In addition to street lighting, landscape lighting is encouraged to enhance the neighborhood while lighting footpaths, building entries and landscape features. Building mounted lights should also be incorporated. Site and street lighting are to be per UCR standards and include energy efficient fixtures and appropriate light levels for safety and security, without producing "light pollution." Lighting should be developed to promote the residential character of the neighborhood and be activated by photocells or time clocks.



Figure 4.3-1: Riverside Semi-Desert-Scape Photo

# 4.4 **PROGRAM CONCEPT**

The Master Planning was revisited in the Project Program Phase and existing planning premises have been re-evaluated. The parcels designated for Phase I and II Family Student Housing and Student Housing have been redefined, in order to create the potential for a two-story family student housing community with ample open space. The program concept illustrates planning based on the site requirements of each facility.

The project program incorporates site area to accommodate:

- Housing in the density and mix desired
- A Child Development Center with ample yard space and parking
- Recreation Fields at the dimensions and orientation desired
- Shared facilities
- Logical development which amortizes infrastructure investment
- Adequate parking



Figure 4.4-1: Phase I: Program Concept Diagram A, 2-story

4.0 Basis of Site Design



Figure 4.4-2: Phase I: Program Concept Diagram B, 2+3 Story

Figure 4.4-3: Phase I: Program Concept Diagram C, 2+3 Story

DPP November 2003

4.0 Basis of Site Design

DPP November 2003

5.0 Systems Criteria

# 5.0 SYSTEMS CRITERIA

This section provides conceptual design criteria for the systems of the proposed facilities and sites. Specific design criteria for each system will be developed in the design phase and reviewed with the Campus Offices of Physical Plant, Office of Design and Construction, Capital and Physical Planning and Housing Services.

# 5.1 LIFE CYCLE COSTING

Life Cycle Costing analysis of building systems assists the University in determining the relative costs that are initially an increased capital expense, but may pay for themselves over time.

Building Systems and materials should be selected after careful review and analysis of their lifetime effectiveness relative to maintenance and capital costs, durability and operational efficiency. The analysis will assist in the selection of systems and materials.

In the program phase systems options have been explored within the budgetary constraints of the project. The design is not intended to be limited to these options. 5.0 Systems Criteria

# 5.2 SITE UTILITY PIPING

Phase I of the WCFSH will include the following: 368 Family Student Housing units, a Child Development Center, a Community Center, four Recreation Fields and a Housing Maintenance Building. The entire family housing development (Phases I & II) is bordered by Iowa Avenue to the east, Everton Place to the north, Martin Luther King Boulevard to the south and Cranford Avenue to the west.

The City of Riverside has existing utilities in the streets fronting the site with adequate capacity to support the development of this project.

- The domestic and fire water supply will be provided from an existing 16" main line on lowa Avenue
- The sanitary sewer will be discharged to a main sewer line on University Avenue
- The site will drain to the County of Riverside Flood Control 72" storm drain line running along the extension of Cranford Avenue
- The Gas Company will supply gas from a main line on Iowa Avenue.

These utilities will be permanent and in accordance with the <u>West Campus Area Plan</u>.

The utilities will provide for the connection and continuation of future phases of the developing West Campus. The proposed development will have to address the existing irrigation system that irrigates the existing groves and modify it as necessary to avoid conflicts with the continuing operation of the remaining groves. The following is a list of relevant contact information for utility companies:

Utility	Agency	Contact	Phone	Address
Storm Drains	City of Riverside/ Department of Public Works	Rob van Zanten	909-826-5875	3900 Main Street Riverside, CA 92522
Storm Drains	County of Riverside Flood Control District	Ed Lotz	909-955-1266	1995 Market Street Riverside 92501
Sewer	City of Riverside/ Department of Public Works	Sandy Caldwell	909-826-5348	3900 Main Street Riverside, CA 92522
Water	City of Riverside/ Public Utilities/ Water Division	Marty McLeod	909-826-5285	3900 Main Street Riverside, CA 92522
Power	City of Riverside/ Public Utilities/ Electric Division	Bill Mainord	909-826-5393	3900 Main Street 4 <sup>th</sup> Floor Riverside, CA 92522
Telephone	Pacific Bell- SBC	Lee Corby	909-359-2255	3073 Adams Riverside, CA 92504
Gas	The Gas Company	Hector Martinez	909-335-7674	P.O. Box 3003 SC 8031 Redlands, CA 92373
Cable	Charter Communication	Xochtil Ortega	909-343-5161	7337 Central Avenue Riverside, CA 92504

Figure 5.2-1: Utility Contact Information Table

# 5.2.1 Domestic Water and Fire Protection

#### **Domestic Water**

In accordance with the <u>West Campus Area Plan</u> a new 10" water line (University owned and maintained) will be installed with two metered points of connection to the City's 16" transmission line. These two, metered points will be at the intersection of lowa Avenue and Everton Place and at the intersection of Martin Luther King Boulevard and the Gage Canal.

Only one point of connection to the city main line on Iowa Avenue will be required to provide domestic water to the Family Student Housing, the Child Development Center, the Recreation Fields and the Housing Maintenance Building during Phase I. This line will run along the north property along the westerly extension of Everton Place, then southerly along the extension of Cranford Avenue and easterly along the Northwest Mall. Its total length will be 3,250 feet. Future points of connection will be provided for the future phases of development to the east, south and west.

#### **Fire Protection**

In order to meet fire department requirements, a 10" fire line will run parallel to the domestic line to provide fire flows for fire hydrants and fire protection to the buildings. Its total length will be 3,250 feet. Laterals will be provided for internal use. This line will be serviced from the 16" City Line on Iowa Avenue and will be connected in a loop system at Everton Place and the Northwest Mall. This line will be owned and maintained by the University.

12" W UNIVERSITY AVE 20" W 8 AC" W EVERTON PLACE POC TO EXIST 16" W EVERTON PLACE EXISTING WATER NEW WATER NORTHWEST MALL SOUTHWEST MALL 16" W OWA AVENUE 20" W MARTIN LUTHER KING BOULEVARD 500'

Figure 5.2.1-1: Water and Fire Protection Diagram

# 5.2.2 Sanitary Sewer System

# Existing Sanitary Sewer System

The City of Riverside Department of Public Works is maintaining the sanitary sewer lines for this area, which are treated by Riverside Regional Water Quality Control Plant. The City currently has the following facilities fronting the West Campus:

- 12" main line along University Avenue
- 8" main line along lowa Avenue from University Avenue to Everton Place, turning easterly on Everton Place
- 8" line on Cranford Avenue between University Avenue and Everton Place

#### **Proposed Development of Sanitary Sewer**

In accordance to the <u>West Campus Area Plan</u>, a new 10" sewer line (University owned and maintained) will be installed from Northwest Mall to the City 12" line on University Avenue (1,300 lf). This line will have to cross private properties between Everton Place and University Avenue (mid point between Iowa Avenue and Cranford Avenue).

The City has a 10 foot easement running mid way between University Avenue and Everton Place. The University will have to obtain the rest of the easement.

An alternate alignment, not requiring easements, will be to install the 10" line on Iowa Avenue from the Northwest Mall to University Avenue (1300 lf). This line will have to be designed and approved by the City of Riverside and will become a public line serving the Phase I West Campus Family Student Housing development.

The 10" line will be extended 650 feet westerly along the Northwest Mall. Based on available

gravity slope, this line may be extended an additional 650 feet in a westerly direction to pick up the Recreation Fields restrooms. If slope is a problem, the line on Cranford Avenue will have to be extended southerly to Northwest Mall (650 feet) to connect the restrooms of the Recreation Fields. Additional 8" lines along the new developed internal streets of Phase I construction will be required to serve the housing units.

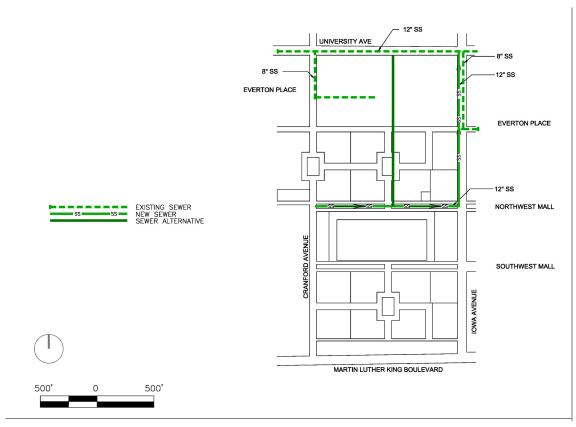


Figure 5.2.2-1: Sanitary Sewer System Diagram

# 5.2.3 Storm Drainage System

# Existing Storm Drainage System

The Riverside County Flood Control and Water Conservation District (RCFCWC) has the following facilities along Martin Luther King and Cranford Avenue, fronting the West Campus:

- 42" drain line along Martin Luther King Boulevard, connected to a 72" line at Cranford Avenue
- 66" drain line (becoming 72" at the Southwest Mall) along Cranford Avenue from 7<sup>th</sup> Street to Martin Luther King Boulevard

These lines intercept the City storm drain lines at University Avenue and pick up surface runoff generated from the undeveloped areas east of Cranford Avenue. This area slopes from northeast and southeast to a natural swale that slopes from east to west along the future Southwest Mall alignment and discharges into the County drain line at the Cranford Avenue extension.

#### **Proposed Development**

The proposed storm drain system of the Phase I of West Campus will be a gravity conveyance system that consists of shallow ornamental swales located in the median of the Northwest Mall and temporary swales along the future alignment of the Southwest Mall. These swales will connect to the Riverside Flood Control facility along the Cranford Avenue extension. A storm drain connection permit will be required, as well as hydrology and hydraulic calculations to ensure that the discharge does not exceed the 10-year storm event capacity of the existing lines. Any additional discharge generated from the post development will be detained on site along the surface swales and Recreation Fields.

Any runoff from areas east to Iowa Avenue will be intercepted by the open swales and conveyed to the Flood Control facilities. Storm Water Pollution Prevention measures will have to be implemented, as well as Best Management Practices in order to ensure that pollutants are not discharged to the County Facilities.

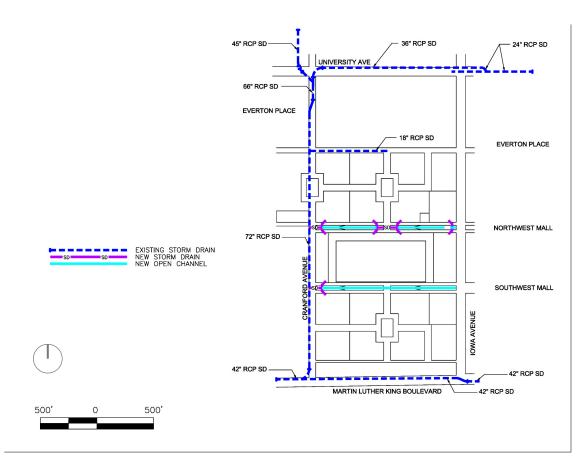


Figure 5.2.3-1: Storm Drainage System Diagram

# 5.2.4 Natural Gas Systems

# **Existing Natural Gas**

The Gas Company has the following facilities fronting the West Campus site:

- A 12" High Pressure gas line along Iowa Avenue between University Avenue and Martin Luther King Boulevard.
- A 12" High Pressure line along Martin Luther King Boulevard.

# **Proposed Development**

The Gas Company has provided a letter of Intent to provide gas service to the project. (See Bibliography, Section 7.2)

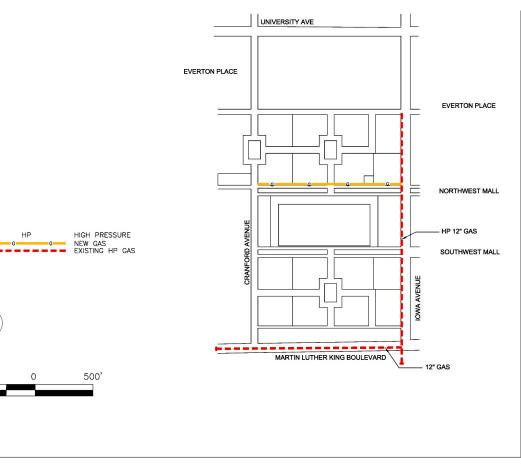


Figure 5.2.4-1: Natural Gas Systems Diagram

500'

# 5.3 HVAC Systems

#### 5.3.1 Codes and Standards

The West Campus Family Student Housing program must comply with applicable sections of national, state and local codes, laws, ordinances, rules and regulations of authorities having jurisdiction, including:

- State of California Code of Regulations (CCR), current edition
- California Building Code, current edition
- California Mechanical Code, current edition
- Uniform Plumbing Code, current edition
- California Fire Code, current edition
- State of California Energy Code, current edition
- Occupational Safety and Health Administration (OSHA)
- South Coast Air Quality Management District (SCAQMD)
- National Fire Protection Association (NFPA)
- Underwriters' Laboratories, Inc. (UL)
- American Disability Act (ADA)
- National Electric Code (NEC)
- UCR Campus Standards and Design Criteria

#### 5.3.2 Design Criteria

#### **Design Conditions**

Outdoor summer and winter conditions shall be in accordance with 0.5% design conditions for summer and 0.2% design conditions for winter for the City of Riverside from Climatic Data for Region X as published by Golden Gate and Southern California Chapters of ASHRAE, 5<sup>th</sup> Edition, 1982 as outlined below:

#### Summer:

Outdoor Dry Bulb: 110°F Outdoor Wet Bulb: 70°F Indoor Design Temperature: 75°F

#### Winter

Outdoor Dry Bulb: 34°F Indoor Design Temperature: 72°F

Indoor relative humidity: 50% ±20%

#### **Minimum Ventilation**

Operable windows will satisfy the requirement for outdoor ventilation air for residential units. The CDC will utilize roof top AC units to provide the code required 15 CFM per occupant of outdoor ventilation air. Roof top units will be screened from public views.

# Ventilation and Exhaust Systems

Mechanical exhaust will be provided for toilets at the rate of 12 air changes per hour minimum. Each residential unit will utilize a ceiling exhaust fan ducted to a wall cap at the nearest exterior wall. On/off control can be via an interlock with the room light switch.

The stack washer/dryer unit should be located as close as possible to an exterior wall so that the dryer vent can terminate at an exterior wall cap. Care must be taken to limit dryer duct lengths in accordance with the dryer manufacturer's guidelines.

For kitchen range hoods, the optimum means of controlling cooking smoke and odors is to utilize hoods that exhaust directly outdoors. Each hood should be ducted to a small wall cap at the nearest exterior wall. Because most residential hoods are equipped with low capacity fans, it is important to plan the kitchen layout such that the exhaust duct length is kept to a minimum and is well within manufacturer's guidelines for the total developed length.

All exhaust terminations to be located to avoid reentry of exhaust air to the building.

#### Air Filtration

It is desired to have minimum 65% efficient filtration on the roof top AC units serving the Child Development Center and 30% for smaller package and/or split system serving the residential units. Roof top units will be screened from public views.

#### Equipment Sizing/Redundancy

In general, systems are to be designed for approximately 10% extra capacity due to aging effects.

# 5.3.3 Mechanical Systems

While the March 2003 West Campus Area Plan concluded that it is not feasible to extend cooling and heating media piping from the main campus system, the Plan allows for the potential use of smaller, regional plants within the project boundaries.

From a cost effectiveness and individual unitmetering standpoint, space heating and cooling needs are best met by individual pieces of equipment serving each living unit. The construction of a central heating/cooling plant(s) with underground piping and a four pipe distribution system within the buildings is the highest first cost option.

The design team should conduct some cost-benefit analysis to determine whether a distributed versus individual unit approach should be pursued. This analysis must address the University's stated preference to meter each "tenant's" utility usage to the maximum extent possible, which becomes more problematic with the central plant approach.

Also, the University's very favorable electric power rate makes electric heating/cooling (via heat pumps) a more attractive option than it might otherwise be.

#### Housing Units

The typical housing unit is to be air conditioned by means of dedicated standalone equipment. This is to consist mainly of split system equipment, which is commonly used, in residential projects of this type. Either air to air heat pump systems with electric cooling/hydronic heating or electric cooling/gas heating should be considered. The indoor fan coil sections can be either a vertical type located within a closet or a soffit mounted type if there is sufficient mounting clearance. If gas furnace sections are used, a closet will be required.

For two level units, a separate system should be provided for upstairs and downstairs spaces to avoid the temperature control problems resulting from combining these two different temperature zones.

The Campus has expressed a preference for split system forced air units with hydronic heat (via the gas-fired domestic hot water heater) and electric cooling with at grade mounted condenser units, Carrier, Trane or equal, minimum SEER rating of 12.0.

The design team should conduct a cost-benefit analysis to determine whether ceiling fans should be provided for all bedrooms and living rooms to promote air circulation and to allow air movement during periods when the HVAC system is not in use.

As an additional life safety feature, the use of carbon monoxide (CO) sensors should be considered in all living areas.

# **Child Development Center**

The most cost-effective means of air conditioning this building is by roof top packaged, air-cooled DX equipment. With this type of equipment, multiple units will be needed to serve various perimeter and interior zones throughout the space to ensure proper temperature control. Use of constant volume gas heating/electric cooling units offers a simple approach to conditioning the building.

At 14,000 square feet it is estimated that a total of 60 tons of capacity will be adequate consisting of 8-10 individual roof top packaged units which will be screened from public view. Each classroom is to have a dedicated unit.

# 5.3.4 Controls and Energy Management

Controls and Energy Management System shall be furnished by one of the pre-approved campus vendors specializing in building automation systems. Controls for the proposed buildings will be compatible with the existing campus control system.

# Housing Units

For the residential units, which are each standalone, a programmable digital type thermostat will be utilized to connect to the campus energy management and control system (EMCS). Specific needs are to be discussed with the Campus Facilities group during the early design phase.

# **Child Development Center**

For the CDC Facility a direct digital control (DDC) controller is to be installed in a Mechanical Room and will control the HVAC and plumbing equipment.

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# 5.4 PLUMBING AND FIRE PROTECTION SYSTEM

# 5.4.1 Estimated Loads

#### Domestic Water

Domestic Irrigation: Ultimate maximum water consumption for domestic irrigation use is estimated at 400,000 GPD (~450GPM). The water consumption was calculated based on known data and the following assumptions:

#### Housing Assumptions:

368 Units total.

Population: Used 1.75 persons per Bedroom. Daily water consumption = 100 gallons per day per capita. Hours per day usage = 15 hrs. Peak Flow Rate = 3.0 x average flow.

# **Child Development Center Assumptions:**

14,000 square feet Population: 35 gross s. f. per child. Daily water consumption = 10 GPD/Child. Hours per day usage = 10 hrs. Peak Flow Rate = 2.5 x average flow.

# **Sanitary Sewer Assumptions:**

Sewer piping is available in the street and will be extended into the site at multiple locations to serve the building loads from domestic plumbing. Water consumption is estimated at 90% of the peak demand of 400,000 GPD will be drained to the sewer (all urinals in public restrooms are to be waterless). The balance of water will be used for irrigation and therefore will evaporate or infiltrate into the ground.

#### **Storm Drain Assumptions:**

Roof drainage will largely be handled by architectural gutter and downspouts, which discharge at grade. Turf areas will sheet flow to catch basins installed to intercept courses to prevent erosion. Rainfall data will be obtained from County Flood Control District.

#### **Natural Gas Assumptions:**

The Gas Company will set and connect meters and regulators at a reasonable distance from the street mains at their expense. Metering will be done on a per unit basis or for the project as a whole pending further review by the University. Medium pressure mains looping large distances within the complex from the street mains may be a shared expense between the campus and Gas Company depending on the size and distance involved.

Gas Loads: Loads to be served are anticipated to be the following:

- Comfort/space heating,
- Domestic hot water,
- Amenities support functions etc.
- Laundry, and
- Cooking.

# Fire Water Service Assumptions:

Automatic, wet pipe fire sprinklers will protect all buildings. Hazard Classifications will be determined by the requirements in NFPA 13. The systems will be hydraulically sized.

Estimated Fire W	GPM	
Fire Hydrants	8 at 1,500 GPM each	12,000
Sprinklers		1,000
Total Maximum FI	ow Rate	13,000

#### Figure 5.4.1-1: Fire Water Flow Table

#### Reclaimed Water Service Assumptions:

Reclaimed water will not be used within the building for plumbing fixture usage.

Meters will be placed at the buildings on water services. A dedicated water meter for the entire Phase 1 project will be provided and installed with box by the City Water Division. It is advisable to have a separate city water meter for irrigation purposes.

- Domestic water will be sized for a maximum velocity of 6'/second at design flow conditions.
- A minimum of 35 psi will be provided at all plumbing fixtures, including devices at the highest point of use in the buildings.
- Hot water will be provided to fixtures at the following temperatures: Lavatories - 110°F.

Service Sinks - 120°F.

- The calculations for hot water based on the minimum street main temperature 60°F.
- Storm drainage design will be based on a rainfall of 2" per hour.
- Sanitary drainage and vent system will be based on fixture unit count with piping at minimum slope of 1/8"/ft.
- Natural gas systems will be provided for domestic water heaters. Gas will also be provided for heating boilers or air conditioning roof top units.
- Garbage disposals shall only be connected to 3" or larger horizontal waste lines.

# 5.4.3 Systems Description

# Water Systems

Domestic Water System (Inside the Building): Domestic water shall include buildings' distribution system to plumbing fixtures, hose bibs, and water heaters. The buildings' water supply shall connect to the new on-site water main and shall be provided with building shutoff and system drain valve for each building. Zone valves and branch valves will be provided for the interior water distribution network. Each individual unit shall be provided with shutoff valves.

Though the water quality in the area is "hard", UCR has not mandated the use of softening equipment and has reportedly disconnected some systems due to maintenance and cost burdens. As such, water softening is not a requirement at this time.

**Domestic Hot Water at Child Development Center:** A gas fired storage type hot water heater is to be provided in a ground floor mechanical room with expansion tank, through mains, risers and branches to plumbing fixtures. A circulating pump will maintain required hot water temperature in each system. All domestic hot and recirculation piping water will be insulated.

**Domestic Hot Water for Housing Units:** A dedicated gas fired water heater for hot water at each unit can provide this. Ideally, heaters should be located at the ground floor level to facilitate maintenance and replacement. Alternatively, each building can be equipped with a centralized hot water system, with hot water then being distributed to each unit. For access and serviceability, it is preferable to locate all water heaters at grade level, even those serving upper floor units.

# Sanitary Drainage System

The sanitary (waste and vent) drainage system for this project consists of regular waste, indirect waste, and elevator emergency drainage.

**Regular Waste:** Waste and vent piping will be provided for each fixture and piece of equipment that requires such piping. Plumbing fixtures above grade will be drained by gravity through a soil waste stack and the house drain to a point set beyond the building exterior. The gravity waste piping will be installed at a slope of 1/4" per foot unless otherwise indicated or approved. Cleanouts will be provided for drainage maintenance purposes.

**Indirect Waste System:** Indirect waste from mechanical equipment shall discharge into the sanitary drainage system through an indirect waste connection.

# Natural Gas System

Interior natural gas will serve gas fired HVAC equipment, domestic gas range, water heaters, and gas dryers. All interior gas distribution systems will be low pressure and will be connected to the on-site medium pressure distribution. An approved automatic seismic safety gas shutoff valve will be provided for entire site and will be located downstream of the meter.

# Fire Protection System

**Sprinklers:** System shall be designed according to NFPA 13. A combined system with complete automatic fire sprinkler coverage and standpipes with Fire Department hose outlets will be provided for all the buildings. Each system shall include an

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automatic fire control assembly, a common drain outside each building and water supply through one of the standpipes located in stairwell.

The Housing and Child Development Center areas will be classified "LIGHT HAZARD" occupancy and shall be designed with a minimum density of 0.10 gpm/square feet over the most remote 1500 square feet. Head coverage shall not exceed 225 square feet in area and shall be 165°F temperature rated.

A system with complete automatic fire sprinkler coverage, with all material, equipment appurtenances as required to conform to the rules and regulations of all current applicable state and local codes, laws and ordinances applicable rating agency and the National Fire Protection Association (NFPA) will be provided.

Materials for similar uses shall be of the same type and manufacture. All components of the fire protection systems shall be UL and FM listed.

# 5.5 ELECTRICAL SYSTEMS

# 5.5.1 Codes and Standards

Codes, Regulations and Requirements: Comply with adopted applicable sections of national, state, and local codes, laws, ordinances, rules and regulations enforced by the authorities having jurisdictions. Conformance with Campus Design Standards will be applicable.

All electrical work will comply with the latest adopted editions of all codes, including, but not limited to, the following codes:

- State of California Code of Regulations (CCR)
- California Electrical Code (CEC)
- National Fire Protection Association (NFPA) including NFPA 70 (National Electric Code, NEC)
- County of Riverside, Electrical Code (NFPA 70 with Amendments)
- California Energy Commission, Title 24
- County and City of Riverside Fire Department
- City of Riverside Power utility requirements
- American with Disabilities Act (ADA)
- South Coast Air Quality Management District (SCAQMD)
- Federal Aviation Authority (FAA)
- Occupational Safety and Health Administration (OSHA)
- National Fire Protection Association (NFPA) Life Safety Code 101

#### Standards and Regulations Compliance

All electrical work will be in compliance with the latest editions of applicable regulations and standards including, but not limited to, the following:

- American National Standards Institute (ANSI)
- Certified Ballast Manufacturers (CBM)
- Institute of Electrical and Electronic Engineers (IEEE)
- Insulated Cable Engineers Association (ICEA)
- National Bureau of Standards (NBS)
- National Electrical Manufacturers Association (NEMA)
- National Electrical Contractors Association (NECA)
- National Electrical Testing Association
- Underwriters' Laboratories Inc. (UL)

# Minimum Requirements

The above listed Codes and Regulations will form the basis of design as minimum requirements.

- Compliance with the State of California "Energy Compliance Standards"
- Code of Regulations Title 24

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# 5.5.2 Design Loads

# Program Area Design Loads

See Figure 5.5.2-1.

# Program Area Design Lighting Levels

Illumination levels will conform to the illuminance category recommendations of the current edition of the IES lighting handbook as a guide and as mandated in the State of California "Nonresidential Building Standards.

# See Figure 5.5.2-2.

# Family Student Housing Design Loads

Load Type	VA/Sq. ft.
Lighting	3.0
Appliance	2.5
Air Conditioning	8.0
Receptacle	2.0

# Figure 5.5.2-3: Program Area Center Design Loads Table

\*Note: Basis assumes that the range, clothes dryer and water heaters are not electric equipment

Program Function	Lighting	Receptacles
Laundry, Kitchen/Pantry	1.3	8.0
Classrooms (Preschool, KG, Toddlers, etc.)	1.6	8.0
Computer Labs	1.0	20.0
Copy/Supply/Mail	1.0	15.0
Corridors, Vending	0.6	0.5
Electrical, Mechanical Rooms, Laundry	0.7	1.0
Entry/Lobby	0.7	1.0
Offices, Reception	1.3	5.0
Restrooms	0.6	0.5
Conference, Curriculum Room, Multi-Purpose Room, Library	1.3	5.0
Storage Rooms, Grounds Equipment Room	0.6	1.0
Telecommunications Room / Telephone Switch Room	0.6	30.0
Kitchen	1.3	30.0
Staff Lounge / Kitchenette, Break Room	1.3	8.0
Maintenance Shop, Grounds Shop		15.0

# Figure 5.5.2-1: Program Area Center Design Loads Table

Program Function	Average Maintained Foot Candles
Lounge, Kitchen/Pantry	35-45
Classrooms (Preschool, KG, Toddlers, etc.)	40-50
Copy/Supply/Mail Rooms	35
Corridors	10-15
Electrical, Mechanical Rooms, Laundry	35
Entry/Lobby	35
Offices, Reception	40-50
Restrooms	15-20
Conference, Curriculum Room, Multi-Purpose Room, Library	40-50
Storage Rooms, Grounds Equipment Room	10-15
Telecommunications Room / Telephone Switch Room	35
Kitchen	35
Staff Lounge / Kitchenette, Break Room	35
Maintenance Shop, Grounds Shop	30

# Figure 5.5.2-2: Program Area Design Lighting Levels Table

# 5.5.3 Main Electrical Service

# **Existing Condition**

The 2003 Draft Long Range Development Plan indicates that the existing 12kv substation located adjacent to the freeway has 54MVA capacity. This substation will handle approximately 14MVA of existing East Campus load.

There is no campus infrastructure on the West Campus site. The existing International Village and Parking Lot 30 are currently served by local City overhead power lines.

There are aboveground high voltage transmission lines on lowa Avenue. The University will need to negotiate with the utility company for relocating underground adjacent to the project boundary.

# **Proposed Electrical Service**

This project schedule is ahead of the development planned east of the Family Student Housing. The development of the campus 12KV infrastructure east of the Family Student Housing will be done at a later time.

We recommend a two-phase electrical service approach for the Family Student Housing. Initially the project will be served by existing high voltage lines along Iowa Avenue. There will be provision made to connect to the campus 12KV infrastructure. Once the west campus 12KV infrastructure is developed, the University will connect the Family Student Housing project to the campus system.

We do not recommend developing the west campus 12 kV infrastructure as a part of the Phase 1 project due to the following:

Various West Campus phases are not defined

- Providing large underground duct bank now will limit future construction flexibility
- Evacuation and backfill during this project and future project on the same road
- High cost of duct bank estimated as follows:
  - Excavation, compact and backfill, \$180/LF
  - Duct bank and manhole, \$110/LF
  - 15KV Conductors for the project, \$80/LF
- There will be pad mounted transformers located adjacent to the Family Student Housing buildings, Child Development Center and near the Recreation Field area.
- There will be underground concrete encased duct bank with manholes to each transformer.
- The transformers at Family Student Housing and Child Development Center will be capable of supplying loads at 208/120 volt, 3 phase, 4 wires to suit housing loads.
- The 480/277-volt service is better suited for Recreation Field area lighting and long distance distribution.
- All transformer pads will require truck access.

# **Power Service Capacity**

There will be multiple services provided from the lowa Avenue high voltage lines.

The service for Phase 1 is to accommodate the following:

Phase I

- 368 Family Student Housing Units
- 14,000 square foot Child Development Center
- 368 Parking Spaces at Family Student Housing
- 350 Parking Spaces at Fields Lot
- 30 Parking Spaces at the CDC
- 10 Parking spaces at the Housing Maintenance Building

- Recreation Field Lighting
- 5,500 square foot Community Center
- 2,800 square foot Housing Maintenance Building

Phase II

- 346 Family Student Housing Units
- 14,000 s. f. Child Development Center
- 346 Parking Space at Family Student Housing
- 173 Parking Spaces at the Recreation Fields

There will be a utility company substation located adjacent to lowa Avenue to serve the project. The site will be served at 12 kV to match future West Campus distribution system. There will be 12 kV underground site distribution with conduit stubs for future connection to the West Campus system.

Estimated loads are as follows:

Phase I Development

- 6.5 MVA connected load
- 3.3 MVA demand load

Phase II Development

- 5.9 MVA connected load
- 3.0 MVA demand load

Additionally, there will be an approximately 55,000 square foot recreation building in a future phase to be located adjacent to the Recreation Field area. This building is not part of the current scope. Estimated load for the recreation building is 0.8 MVA connected and 0.5 MVA demand.

We recommend that University review the possibility of accommodating the recreation service load in the

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north development, which would prove to be more cost-effective.

#### Metering

There will be service meter board located adjacent to each Family Student Housing building, Child Development Center and Field area. Family Student Housing meter board will include a meter for each unit. The Utility Company will provide these meters.

# 5.5.4 Electrical Distribution

480Y/277V and 208Y/120V distribution switchboards will be provided in the electric rooms.

Distribution at 480Y/277V and 208Y/120V to panel boards, and packaged mechanical equipment will be by means of cable feeders from distribution switchboards. The electrical distribution will have electrical risers for vertical power distribution in a stacked electrical room for lighting, receptacle power and mechanical equipment.

Dry type transformer for 208Y/120V will be provided near Recreation Fields for small equipment loads.

Branch circuit panel boards (208Y/120V and 480Y/277V) will be installed in the electrical rooms and close to the loads they serve wherever practical. All panel boards will be fully bussed, 42 circuit and utilize bolt-on circuit breakers.

Copper wiring and bussing will be used throughout.

# 5.5.5 Emergency Power

The Family Student Housing and Child Development Center will be provided with integral battery equipped exit lights and egress lighting in the stairs, corridors and adjacent to exit doors.

The fire alarm system will have an integral battery system.

The diesel powered emergency generator set is not planned for any of the facilities, except for the main telephone switch room. The University requested the switch room equipment, UPS, lighting, and air conditioning be on the same generator.

# 5.5.6 Voltage

Utilization Voltages will be as follows:

- Fluorescent and HID Lighting: 120V, 1 phase.
- Exterior Site Lighting: 120V, 1 phase, or 208V, 1 phase
- Motors Less than 1/2 HP: 120V, 1 phase.
- Motors 1/2 HP or greater: 208V, 3 phase.
- General Use receptacles: 120V, 1 phase
- Soccer field lighting: 277V, 1 phase

# 5.5.7 Site Lighting

Building exterior, walkways and landscape lighting will be designed to compliment the architecture. Campus standard will apply for walkway areas. The fixtures will be controlled with photocell and/or time clock with lighting control system. The fixtures will be selected with lower cut offs to reduce light pollution and light spillage in bedrooms.

The Campus exterior lighting standards are based on Pentland Hills Phase 2.

The general area lighting fixture will be double or single Cobra head with total height of 32'-6". Provide inline fuse holder in the base of the pole. Fixture manufacturer: General Electric No. M520A2. Pole manufacturer: Ameron No. AMRC-5C1-25F8D. Lamps: 1 or 2 – 250W, high pressure sodium, 480V.

# 5.5.8 Field Lighting

The Recreation Field lighting will be designed for recreation grade standard.

The following sports lighting performance will be applied:

- Maintained foot candles = 30
- Maximum to minimum uniformity ratio = 3.0:1.
- Uniformity Gradient (UG) = 1.7
- Coefficient of Variance (CV) = 0.28
- Flare / Spill light levels 100' from area of lighting=
  - (a) Maximum foot candles = 1.0
  - (b) Foot candles with meter aimed toward brightest light bank = 1.5-2.0.
  - (c) Arc tube will not be visible at greater than 35° angle.
- Fixture candle power will not exceed value of 12,000.

# Light Structure

The structure will include steel pole, cross arm assembly, wire harness, and electrical component enclosure. Light poles will provide for future camera and connections. The foundation will be designed to meet wind speed of the area.

# Luminaire

The luminaire will be NEMA 3R, 1500 MH with aluminum reflector and alzak finish. The fixtures will have internal and external glare control. The University's preference is MUSCO Type – TLCMZ. The typical pole height of 70' with 350' x 150' spacing pattern will be required to meet lighting performances criteria. Each pole may have 8 to 12 light fixtures.

# 5.5.9 General Lighting

General illumination for the building interior will conform to the energy limitation and control requirements of the California Conservation Code and the recommendations of the current edition of the IES Lighting Handbook.

Family Student Housing rooms, hallways, toilets, Child Development Center classrooms and support areas will be commercial fluorescent type fixtures with T8, SPX Series 4100K fluorescent lamps and rapid start electronic ballasts. Fixtures will be recessed, surface or pendant mounted to suit the design.

Where recessed downlights are used, compact fluorescent lamps are provided. Incandescent lamps will be limited to special applications.

Exit signs will use long life LED type lamps.

Lighting in mechanical/electrical equipment rooms will be industrial type fluorescent fixtures with T8, SPX Series 4100K fluorescent lamps and rapid start electronic ballasts.

# **Lighting Control**

Lighting control system to meet Title 24 requirements.

Local wall switches and occupancy sensors shall control lighting in common areas. Lighting in offices will be controlled be occupancy sensors with dual level wall switches.

In large classrooms local dimming system will be provided.

# 5.5.10 Grounding

A grounding system will be provided for all the transformers, switchboards, metallic conduits, and raceways. A ground bus bar will be provided in each electrical room. A ground loop will be provided in the main electrical room. A ground conductor will be provided in each telephone and data room from the adjacent ground box.

The ground system resistance will be 5 ohm or less.

The service grounding will be provided at the service substation with ground rod, cold water lines and building steel.

All electrical equipment will be grounded.

# 5.5.11 Fire Alarm System

An addressable-point fire alarm system will be designed for standard low rise building operation conforming to all state and local codes. The system will include a graphic annunciator panel located at the first floor and a remote fire alarm annunciator panel located on the outside wall, at the Fire Department response point. Terminal cabinets will be located on each floor to serve various devices. The building fire alarm system shall report to the central campus fire alarm system via the fiber optics communication network. The system will include the following:

- Manual pull stations
- Water flow alarms
- Sprinkler valve tamper supervision
- Smoke detectors in bedrooms
- Smoke detectors in equipment rooms
- ADA strobes
- Horns
- Smoke detection with local visual and audible alarm in ADA compliance housing unit

Campus preference is Simplex System.

The system will provide alarm and trouble signals to the University of California, Riverside Central Fire Alarm console via campus fire alarm proprietary cable plant.

All wiring shall be installed in conduit.

# 5.5.12 Communication Systems

# Voice/Data Systems

The building will receive Voice/Data service from the campus communication network via a fiber optic system. Per campus facility personnel there are existing (4) 4" conduits stubbed at the corner of Iowa Avenue and Everton Place. These conduits will have campus telephone and fiber cables and will be extended to the Family Student Housing site. There will be underground voice/data duct bank with manhole throughout site connecting each housing buildings, Child Development Center and Recreation Fields area, the Community Center and Housing Maintenance Building. This project will be connected to the campus phone system.

Voice/Data outlets will be provided in the housing units, classrooms, offices and staff rooms as per the programming requirements.

All cabling and faceplates will be furnished and installed per the campus standard.

There will be a main telephone switch room of approximately 300 s. f. for the project. The room will have dedicated air conditioning. The equipment, lighting and air conditioning system will be on the generator.

The main Distribution Frame (MDF) will be located on the first floor.

Each floor will have vertically aligned Intermediate Distribution Frame (IDF) located so that the work station cable run will not exceed 250 linear feet.

The system will include complete riser cables, fiber optics, backboards, conduits, boxes and cable tray as required.

# **Cable Television System**

The Charter Cable Company is the local provider for the area. Empty conduit system will be extended from the adjacent public street to the main head end room located either in Child Development Center or Housing units. Campus wide conduit duct bank and manholes will be provided connecting each building.

Each building will have System Terminal Cabinet to terminate coaxial cables and to mount signal amplifiers.

Each floor will have system terminal cabinet. Each housing unit will have cable TV outlets in Family/Living rooms and bedrooms. Coaxial cable will be provided from each TV outlet to the floor terminal cabinet.

University may make arrangement to buy bulk cable rate. University representative to investigate with the cable provider in future.

The structural design for this project should provide building systems, which will accommodate the specific program requirements for each building type, as well as the architectural and building systems needs. The structural design is to meet current code standards for the vertical load carrying capacity and for seismic safety. In the design phases, a soil report will be required.

The following design criteria should be used for this project.

- Structural sections of the 2002 California Building Code, as a guide only
- Seismic Zone 4
- UCR Standards for Housing Construction as provided by the University

# Construction Systems

Durability, deferred maintenance, availability and lead time of structural components and any effects on the construction schedule should be considered in the selection of the structural system.

#### 5.6.1 Townhouse Units and Apartments

The Townhouse units will be two-story structures constructed in groups of attached units. The apartment units will be two-story (or two and threestory) structures

Possible construction types to consider are as follows:

# **Conventional Wood-Framed Construction**

Conventional wood framed roof and second floor with plywood or Oriented Strand Board sheathing. Lightweight concrete fills for second floor sound control. Ground floor concrete slab-on-grade with shallow continuous footings. Conventional wood framed 2x4 or 2x6 wood stud walls with plywood or Oriented Strand Board sheathing on exterior walls and shear walls.

# Metal-Framed Structure

Metal rafters and metal floor joists with plywood or Oriented Strand Board sheathing. Ground floor concrete slab-on-grade with shallow continuous footings. Metal stud exterior and interior walls with plywood or Oriented Strand board sheathing on exterior and shear walls for sound attenuation. (Possible use of concrete and metal deck for the second floor in lieu of plywood floor sheathing, and steel braced straps on the walls in lieu of plywood sheathing on the exterior and shear walls.)

# 5.6.2 Child Development Center and Community Center

These will be one story structures with a total square footage of approximately 14,000 square feet and 5,500 square feet respectively. Large open rooms will require some large span roofs. Possible construction types to consider are as follows:

# **Conventional Wood-Framed Construction**

Conventional wood framed roof. Ground floor concrete slab-on-grade with shallow continuous footings. Conventional wood framed 2x4 or 2x6 wood stud walls with plywood or Oriented Strand Board sheathing on exterior walls and shear walls. Primary load bearing system of glue-laminated or steel beams with truss system.

# Combination Wood-Framed or Bar Joist and Concrete Block Wall Construction

Conventional wood-framed or bar joist roof. Ground floor concrete slab-on-grade with shallow continuous footings. Concrete block party walls and exterior walls. Other interior wood framed walls to be conventional 2x4 wood stud framed. Primary load bearing system of glue-laminated or steel beams with truss system.

# Metal-Framed Structure

Metal rafters with plywood or Oriented Strand Board sheathing. Ground floor concrete slab-on-grade with shallow continuous footings. Metal stud exterior and interior walls with plywood or Oriented Strand Board sheathing on exterior and shear walls. Primary load bearing system of steel beams and columns.

# 5.6.3 Housing Maintenance Building and Neighborhood Park Facility

The Housing Maintenance Building is a 2,800 square foot, single story building for shop type use. The park facility will be 1,500 square feet and will support public restrooms, vending and trellised patio space.

# **Conventional Wood-Framed Construction**

Conventional wood framed roof, with plywood or Oriented Strand Board sheathing. Ground floor concrete slab-on-grade with shallow continuous footings. Conventional wood framed 2x4 or 2x6 wood stud walls with plywood or Oriented Strand Board sheathing on exterior walls and shear walls.

# Combination Wood-Framed or Bar Joist and Concrete Block Wall Construction

Conventional wood-framed or bar joist roof, with plywood or Oriented Strand board sheathing. Ground floor concrete slab-on-grade with shallow continuous footings. Concrete block exterior walls and possibly fire separation walls that might be required.

# Metal-Framed Structure

Metal rafters with a corrugated metal deck with open web bar joist roof. Ground floor concrete slab-ongrade with shallow continuous footings. Metal stud or concrete block exterior and metal stud interior walls.

# 5.7 ARCHITECTURAL MATERIALS AND CHARACTER

# 5.7.1 Architectural Materials

Materials that will create a finished project that is esthetically pleasing, desirable, serviceable and cost effective should be selected The budget has been based on the following materials:

# Exterior

Facility	Roofing	Walls	Fences	Walking Surfaces
Family Student Housing	Concrete tile	Plaster: Dash (Spray –on), Integral color Alt: Composite Siding	Wrought Iron (if fenced)	Concrete
Child Development Center	Concrete tile Wood trellis	Plaster (same as above)	Wrought iron	Concrete
Recreation Fields	N/A	N/A	Chain link	Concrete
(& Experimental Groves)	Concrete tile	Concrete Maconny	N/A	Decomposed granite
Neighborhood Park	Concrete tile Wood trellis	Concrete Masonry	N/A	Concrete: Colored
Tot Lot	N/A	N/A	Wrought iron	Concrete, rubber
Community Center	Concrete tile	Plaster (same as above)	Wrought iron (if fenced)	Concrete: Colored & Stamped
Housing Maintenance	Concrete tile	Plaster (same as above)	Chain link	Concrete
Building		Concrete Masonry		

#### Interior

Figure 5.7-1: Exterior Architectural Materials Table

Facility	Interior Walls	Ceilings	Floors	Windows
Family Student Housing	5/8 Gypsum Board Spray finish/Painted	5/8 Gypsum Board Spray finish/Paint	Carpet: Solution Dyed & Glue down Vinyl: Sheet & Tile	Vinyl (sliding)
Child Development Center	(same as above) Washable wall covering		Carpet Vinyl: Sheet & Tile	Steel/Aluminum
Neighborhood Park	(same as above)		Concrete: Colored (selectively)	Steel/Aluminum/Glass Masonry
Community Center	(same as above) Wall covering	Open structure as appropriate	Carpet Tile	Steel/Aluminum
Housing Maintenance Building	(same as above Exposed CMU	Open structure as appropriate	Concrete (Offices: Carpet)	Steel/Aluminum

Figure 5.7-2: Interior Architectural Materials Table

## 5.7.2 Architectural Character

The project has been conceived as a primarily pitched roof design with some flat roof areas. Architectural sunscreens and unit identity through façade articulation are desired, as the budget allows.

It is important that the consultant schedule a conceptual design review with the UCR Design Review Board in order to establish the architectural character in the early stages of design.

All roof top equipment will be screened from public view.

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## 5.8 NOISE AND ACOUSTICS

#### **Outside Noise**

Sites adjacent to Iowa Avenue are to be planned in such a way as to limit street noise.

#### Noise from Adjacent Functions/Units

The Child Development Center and the Community Center shall have sound insulation between areas of higher noise generation and quieter spaces to provide air borne sound insulation equal to sound transmission class (STC) 50.

All administrative areas are to have wall and ceiling assemblies providing airborne and impact sound insulation equal to sound transmission class (STC) 50.

Residential units shall have wall and floor assemblies separating individual living units providing airborne and impact sound insulation equal to sound transmission class (STC) 50.

#### **Mechanical Vibration and Noise Control**

System components are to be evaluated to determine the most cost-effective approach to controlling transmitted noise and vibration. This is especially crucial for roof-mounted equipment, which are directly above occupied areas. The Engineering Consultants must work closely with the Executive Architect and Acoustical Consultant to properly address these design and construction related issues as the design progresses.

Principal measures to include proper location of mechanical equipment, selections with lower inherent noise levels, spring vibration isolation bases for equipment, thickened structural slabs or elevated platforms at equipment bases, duct silencers, flexible couplings at rotating equipment and vibration isolation hangers for piping systems in proximity to pumps.

Where duct lining may be required at the inlet and discharge of air handling equipment, its use should be limited to the extent possible.

Mechanical systems to be designed in accordance with standard accepted practice to control noise and vibration transmission to occupied spaces using UCR Standards and detailed requirements set forth by the Acoustical Consultant.

## 5.9 SECURITY

The project will have a security system per University requirements.

The security system will consist of an intrusion detection system, a door access and control system and a closed circuit video surveillance system. The system will also report to the Security Station at the Pentland Project.

Owner will provide all equipment and wiring under separate contact. The electrical contractor will provide backboards for equipment, conduit, cable and back boxes only.

Security systems shall be provided for the Child Development Center, Community Center, Recreation Fields perimeter, Recreation Fields Housing Maintenance Building, Family Housing perimeter and all parking lots. The Campus has indicated a preference for the following systems:

## Child Development Center

- Housing Operations has made the decision to use Lenel software & hardware components as the primary operations platform for all access control including locks, cameras, DVR's, & alarms.
- IDH Max prox readers by BEST ACCESS SYSTEMS, hard wired
- Mullion mounted prox readers on store front applications Lenel LPMM-6800
- Electrified VonDuprin hardware 33 series
- Detex brand removable mullion for lobby doors, heavy duty model #F90KR
- Lenel card reader at lobby and all card reader locations

- Lenel card readers with door position switches on all gates in play area
- Pelco pan, tilt, zoom (PTZ's) lobby, all exterior including parking lots.
- Central viewing station preferably at the lobby desk a 2<sup>nd</sup> at Access Control Room
- DVR's (Digital Video Recorders) are to be Pelco DX 7000 series w/PTZ function
- Software to include Pelco motion detection sensor
- Fixed cameras (if any) are to have "vara-focal" wide angle lenses

Child Development Center-Priority 1 Wish List

- Infant Child Tag system, locks all doors when unauthorized exit is attempted
- Facial Recognition system to prevent wrongful removal of children
- Remote/hardwired panic buttons throughout building for police notification
- On site central access control room and monitoring station

#### Community Center

The Community Center shall be provided with essentially the same security access and monitoring components as the Child Development Center (excepting the wish list items). The second monitoring station function shall be in the Child Development Center Access Control Room.

## **Recreation Fields Perimeter**

- Lenel based Platform:
- Each gate requires HID Maxiprox long-range proximity reader (or Lenel equivalent)

- BAS/LENEL model LNL-1000 access control processor
- BAS/LENEL model 1320 dual card reader interface module
- Dialup Modem Cable

## Housing Maintenance Building

The Housing Maintenance Building shall be fenced with keyed locking only. Access control for building entrances shall be either local or networked card key access or keyed locking depending on entrance type / function.

## Family Student Housing Perimeter

A continuous wrought iron perimeter fence has been included in the cost plan as an additive alternate. The design team should review this alternate with the Campus to determine the type and configuration of fencing and gates. Vehicular access to the Family Student Housing is to be controlled in any case based on the following Campus Housing Standard:

- Lenel based Platform:
- Each gate requires
- HID Maxiprox long-range proximity reader (or Lenel equivalent)
- BAS/LENEL model LNL-1000 access control processor
- BAS/LENEL model 1320 dual card reader interface module
- Dialup Modem Cable
- ALTRONIX AL300ULM controller power supply w/rechargeable batteries

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The Campus has provided the following additional recommendations:

- Gated community requires track or rolling gates, barrier arms will not provide needed security therefore we recommend a V-Grove or rolling slide gate operated by above system.
- We also recommend a pedestrian gate next to the vehicle gate, both wired for phone dialer interface so residents can permit guests (or authorized delivery) access.
- Depending upon street configuration and available street parking providing residents with an HID ProxPass Active Vehicle tag is suggested. Since the rolling gate is considerably slower than a barrier arm, the ProxPass will prevent traffic back up as well as reduce the potential for "tailgaters" to enter without authorization.
- Gates are to be wired to open automatically when a fire alarm is triggered or have a Knox box for fire truck access. This will depend upon what fire protection system is installed and the Fire Marshall's input. If dedicated emergency vehicle access points are required, consult the Campus for Barrier Arm Equipment standards.
- Cameras wired to both the RSO and the Pentland Hills Surveillance control room with gate opening capability.
- Face Recognition system wired to gates to assist residents who may have lost their access cards.
- It is also suggested that a 4 or 6 car parking area be provided for guests who need to dial in. This too will prevent traffic back-ups.
- For maximum security, separate, shorter access & egress gates are also suggested; reducing the amount of time security can be breached.

• Cantilever swing gates are an alternative to rolling gates, depending upon space and location. Either option is workable with the same operating systems and devices.

#### Parking Lots

All parking lot areas shall be lighted and provided with emergency phone systems conforming with Campus standards. "Code Blue" emergency phone units are the current Campus standard and compatibility with this system is essential. The emergency phone system shall be comprised of the following components:

- Components as required for integration with Campus Police Central Monitoring Base Station.
- Emergency Bollards with speakerphone, video camera and lens, strobe and area/identity light.
- Emergency Telephone Stations with speakerphone, two (2) call buttons and enclosure for flush or surface mounting.

## 5.10 IRRIGATION

The following are Campus irrigation system standard requirements for Phase I of the project. Compatibility with existing Campus systems is essential. All landscaped areas are to comply with these standards (The Campus should be consulted regarding the proprietary nature of these systems as "no substitutes" have been requested). All landscape areas are to be provided adequate drainage and water run-off recovery. Supply water source to be provided with back flow preventors.

#### Controllers:

- (4) each Toro-Sentinel-Wireless 64 station controllers.
- Valve controllers: Flowmaster

## Valves:

• Rain Bird, Brass

## Sprinkler Heads:

- Small planters and turf areas: Toro 570 sprinkler heads.
- Large planter areas: Hunter I-20 and Hunter I-40 sprinkler heads.
- Large turf areas such as play fields: Hunter I-20 and Hunter I-40 sprinkler heads.

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# 6.0 FACILITY REQUIREMENTS: DESIGN CRITERIA

This section contains the detailed basis of design, including each facility type and room.

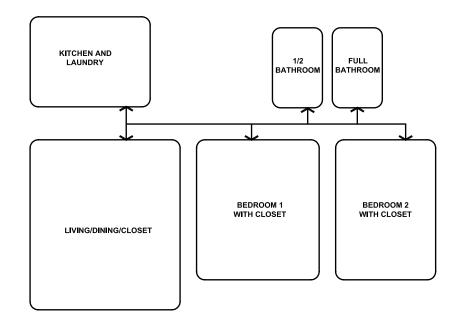
## 6.1 HOUSING UNITS

## 6.1.1 General Housing Unit Housing Units

Description	Housing unit for student family
Quantity	368
GSF	1,045 average
Number of	2-6 / unit
Occupants	
Adjacency Requirements	West Campus Community functions such as Recreation Fields,
	Neighborhood Parks, Tot Lots, Parking, Community Center etc.
Activities	See Room Data Sheets
Days of use	Weekdays: M-F
	Weekends: S-S
Hours of use	24 hours per day
Ceiling Height	8'-0" – 9'-1" (10'-0" floor-to-floor)
Finishes	
Floor	Commercial carpets (32 ounce per SY, glued down) over slab on
	grade or gypcrete in 2 <sup>nd</sup> floor with Vinyl Flooring in bathrooms,
_	kitchens and entries.
Base	4" Resilient Cove Base, Typ.
Walls	Painted Gypsum Board, Texture Finish (Level 4)
Ceiling	Painted Gypsum Board, Texture Finish (Level 4)
Line of Sight	Views to the north and east (the mountains and the UCR East
	Campus core) should be maximized.
Doors	Exterior: Acoustic, solid core with screen door (security-type with
	bolt). 6'-8" Typ. Interior: Hollow core with solid core in bathrooms Typ. (No pocket
Windows	doors). Provide safety glazing as required, dual glazing at all areas where
WINDOWS	thermal and acoustic control is required. All east, south and west
	exposures should be provided with passive solar shading devises.
	Frames should be durable and low maintenance. Prefer sliding.
	casements are problematic. Not recessed.
Storage	Ample storage within each unit
Signage	Building and entry identification, way finding, accessibility and exiting
	signage should be provided. Parking entry / drop-off, accessibility and
	control signage shall also be provided.
Security	Dead bolts on front doors. UCR standard infill.
Special Requirements	Community design should allow for interaction between neighbors +
-	neighborhood security.

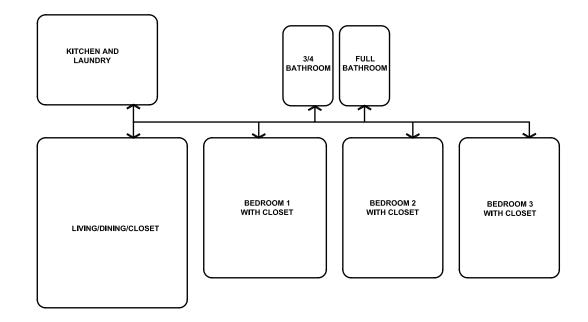
Future Considerations	Future uses may include faculty or single student housing.
Systems	
Mechanical	Split system HVAC (2 systems for 2 story units), bathroom and kitchen to have outside exhaust.
Plumbing	Waste and Vent: ABS piping in lieu of cast iron for the 2 story units. Sprinklers: R13
Lighting	See Room Data Sheets
Power	Romex only, no conduit or armor.
	Electricity: Individually metered (by utility supplier)
Communications	
Data	In each room (living and bedrooms)
Telecom	In each room (living and bedrooms)
Video	CATV
Acoustics	STC 50 min. for party walls and floors/ceilings only. Main concern is between units, not an internal issue
Room Contents	
Group I	
Built-ins	See Storage and Special Requirements sections
Group II & III	
Movable-Equip.	See Room Data Sheets
Furnishings	See Room Data Sheets

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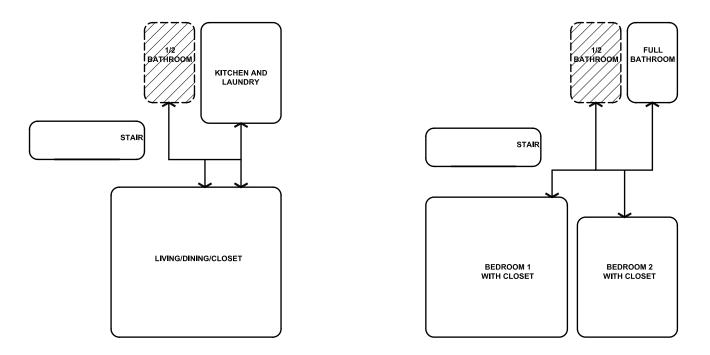
## APARTMENT ADJACENCIES TWO BEDROOM CONFIGURATION (ENTRY LOCATION APPROPRIATE TO DESIGN)

Figure 6.1.1-1: Housing Units Apartment Adjacencies, Two Bedroom Diagram



## APARTMENT ADJACENCIES THREE BEDROOM CONFIGURATION (ENTRY LOCATION APPROPRIATE TO DESIGN)

Figure 6.1.1-2: Housing Units Apartment Adjacencies, Three Bedroom Diagram



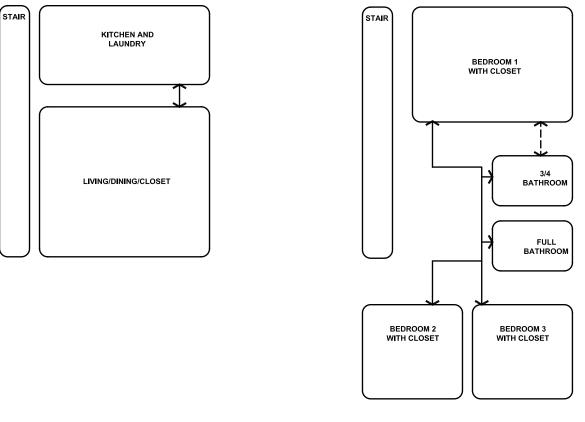
FIRST FLOOR

SECOND FLOOR

## TOWNHOUSE ADJACENCIES TWO BEDROOM CONFIGURATION

NOTE: 1/2 BATHROOM MAY BE LOCATED ON EITHER FLOOR (ENTRY LOCATION APPROPRIATE TO DESIGN)

Figure 6.1.1-3: Housing Units Townhouse Adjacenies, Two Bedroom Diagram



FIRST FLOOR

SECOND FLOOR

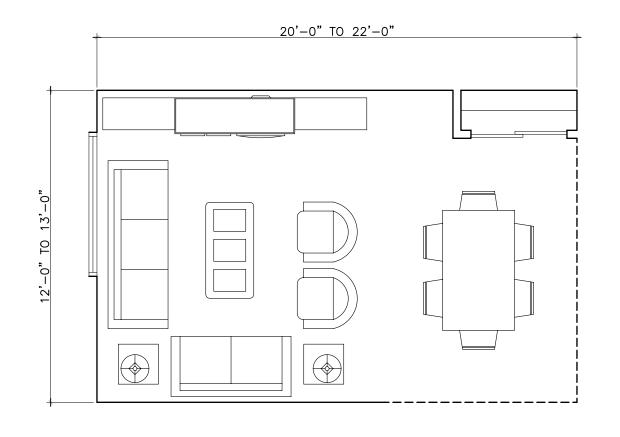
## TOWNHOUSE ADJACENCIES THREE BEDROOM CONFIGURATION (ENTRY LOCATION APPROPRIATE TO DESIGN)

Figure 6.1.1-4: Housing Units Townhouse Adjacencies, Three Bedroom Diagram

## 6.1.2 Entry/Living/Dining Area Housing Units

Acoustics	See General Unit data
Video	CATV
Data Telecom	Yes
Communications	Yes
Power	2 switched outlets, half hot
Lighting	Track or recessed lights in dining area
Plumbing	N/A
Mechanical	No Special Requirements
Systems	
Future Considerations	See General Unit data
Special Requirements	No Special Requirements
Storage	Coat closet accessible to entry
Windows	See General Unit data
Doors	See General Unit data
Ceiling	Painted Gypsum Board
Walls	Painted Gypsum Board
Base	4" Resilient Cove Base
	Living: Carpet
Floor	Entry/Dining: Vinyl Flooring;
Finishes	
Ceiling Height	8 feet minimum
Hours of use	24 hours per day
54,00,000	Weekends: S-S
Days of use	Weekdays: M-F
Activities	Eating, play, study, relaxation, etc.
Adjacency Requirements	Kitchen, unit circulation
Occupants	2-0
Number of	2-6
ASF	260
Quantity	One
Description	Entry from exterior, Living Room, Dining area, with closet

Room Contents Group I	
Built-ins	Removable or drop down casework panel to separate living/dining room from kitchen.
Group II & III	
Movable-Equip.	N/A
Furnishings	Couch, chairs, end tables, dining table, entertainment center,
-	television





ENTRY / LIVING / DINING AREA 260 ASF

> Figure 6.1.2-1: Housing Units Entry / Living / Dining Area Room Diagram

## 6.1.3 Kitchen & Laundry Housing Units

Description	Kitoboo ood buuday
Quantity	Kitchen and laundry
ASF	Une 104
Number of	2-3
Occupants	D'éta ana
Adjacency Requirements	Dining area
Activities	Food preparation, storage
Days of use	Weekdays: M-F
	Weekends: S-S
Hours of use	24 hours per day
Ceiling Height	7'-0" min.
Finishes	
Floor	Vinyl Flooring
Base	4" Resilient Cove Base
Walls	Washable, Painted Gypsum Board
Ceiling	Washable, Painted Gypsum Board
Line of Sight	No Special Requirements
Doors	See General Unit data
Windows	See General Unit data
Storage	Ample storage, maximize cupboard space with open shelves and
	adjacent, pantry
Special Requirements	Maximize counter space
Future Considerations	No Special Requirements
Systems	
Mechanical	Vent hood to exterior
Plumbing	Self-rimming, stainless steel double sink with garbage disposal
Lighting	Recessed spotlights or fluorescent lighting at sink and range
Power	Switched lights at entry to kitchen, counter-height, 4-plex outlets
Communications	
Data	No Requirements
Telecom	Yes
Video	No Requirements
Acoustics	See General Unit data

Room Contents Group I	
Built-ins	Movable casework panel to separate living/dining room from kitchen as appropriate to design, coved counter with backsplash, 4-burner gas oven and broiler, dishwasher
Group II & III	
Movable-Equip.	Microwave, 20 cubic foot refrigerator, full-size stacked washer/dryer combination (need not be "in" kitchen)
Furnishings	Coffee maker, toaster oven, other kitchen appliances, possible kitchen table with chairs

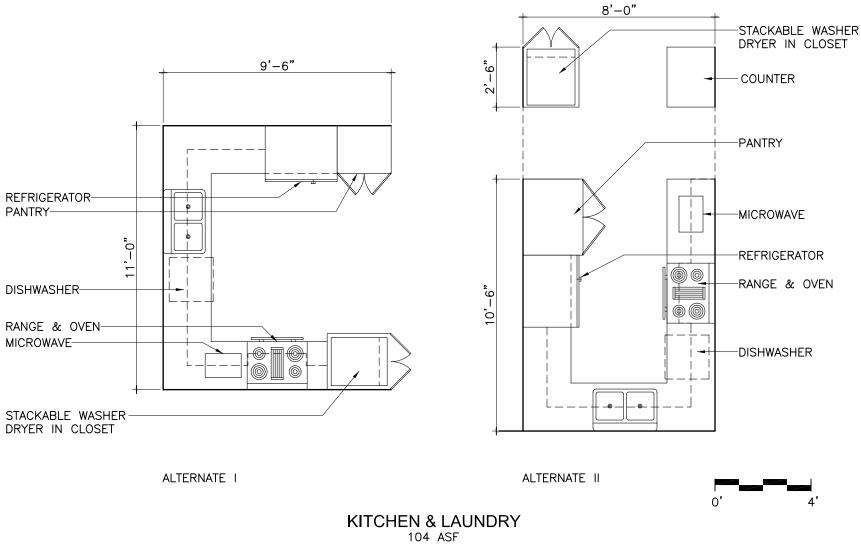
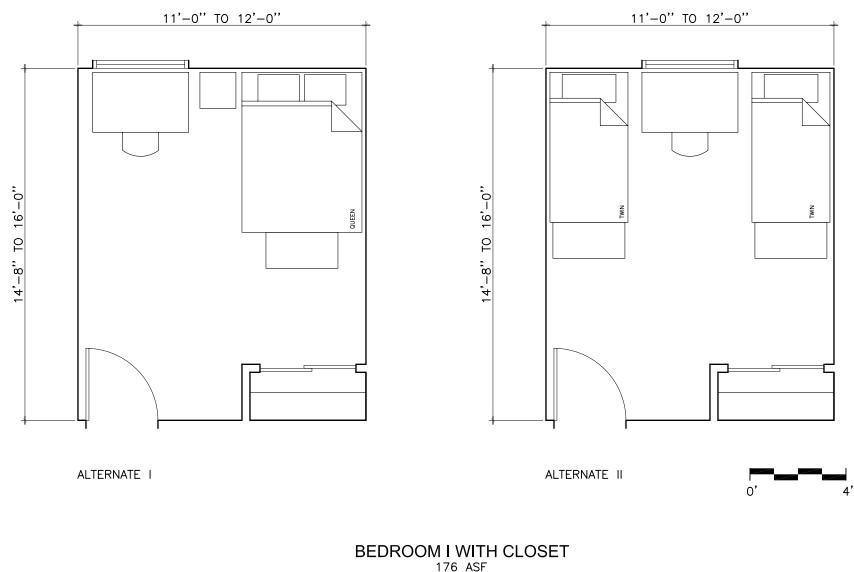


Figure 6.1.3-1: Housing Units Kitchen & Laundry Room Diagram

## 6.1.4 Bedroom I Housing Units

Description	Larger bedroom
Quantity	One
ASF	176
Number of	2
Occupants	
Adjacency Requirements	Circulation, bedroom II (and III), bathroom
Activities	Sleeping, study, relaxation, play
Days of use	Weekdays: M-F
-	Weekends: S-S
Hours of use	24 hours per day
Ceiling Height	8' minimum
Finishes	
Floor	Carpet
Base	4" Resilient Cove Base
Walls	Painted Gypsum Board
Ceiling	Painted Gypsum Board
Doors	See General Unit data
Windows	See General Unit data
Storage	Clothes closet
Special Requirements	No Special Requirements
Future Considerations	See General Unit data
Systems	
Mechanical	No Special Requirements
Plumbing	N/A
Lighting	Switched, center mounted light
Power	Multiple outlets
Communications	
Data	Yes
Telecom	Yes
Video	CATV
Acoustics	See General Unit data

Room Contents Group I Built-ins	No Special Requirements	
Group II & III		
Movable-Equip.	No Special Requirements	
Furnishings	Bed, end tables, lamps, possible desk and chair, bureau, wardrobe	



NOTE: DIMENSIONS ARE SHOWN AS A RANGE FOR FLEXIBILITY IN DESIGN

Figure 6.1.4-1: Housing Units Bedroom I Room Diagram

## 6.1.5 Bedroom II & III Housing Units

Description	Smaller bedroom(s) with closet
Quantity	One or two
ASF	135 each
Number of	1-2
Occupants	
Adjacency Requirements	Circulation, bedroom I, bathroom
Activities	Sleeping, study, relaxation, play
Days of use	Weekdays: M-F
-	Weekends: S-S
Hours of use	24 hours per day
Ceiling Height	8' minimum
Finishes	
Floor	Carpet
Base	4" Resilient Cove Base
Walls	Painted Gypsum Board
Ceiling	Painted Gypsum Board
Doors	See General Unit data
Windows	See General Unit data
Storage	Ample storage. 4' minimum opening
Special Requirements	No Special Requirements
Future Considerations	See General Unit data
Systems	
Mechanical	No Special Requirements
Plumbing	N/A
Lighting	Switched, center mounted light
Power	Multiple outlets
Communications	
Data	Yes
Telecom	Yes
Video	No Requirements
Acoustics	See General Unit data

Room Contents Group I Built-ins Group II & III	No Special Requirements	
Movable-Equip.	No Special Requirements	
Furnishings	Bed, end tables, lamps, possible desk and chair, bureau, wardrobe	



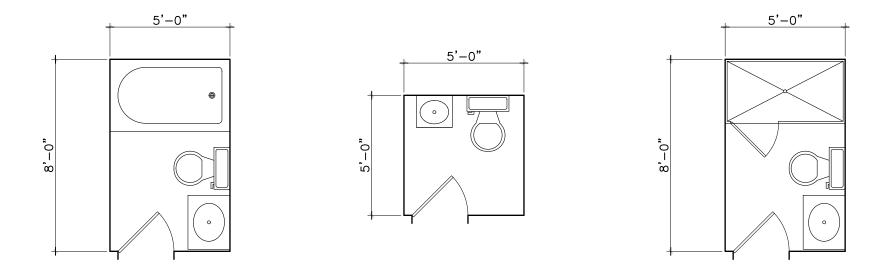
NOTE: DIMENSIONS ARE SHOWN AS A RANGE FOR FLEXIBILITY IN DESIGN

Figure 6.1.5-1: Housing Units Bedroom II & III Room Diagram

## 6.1.6 Bathrooms I, II & III Housing Units

Description	Bathrooms with linen closets
Quantity	Each two bedroom unit receives 1 1/2 baths
-	Each three bedroom unit receives 1 <sup>3</sup> / <sub>4</sub> baths
ASF	Bathroom: 40
	Powder Room: 25
Number of	1
Occupants	
Adjacency Requirements	Circulation, Bedrooms I, II (and III)
Activities	Hygiene
Days of use	Weekdays: M-F
	Weekends: S-S
Hours of use	24 hours per day
Ceiling Height	7' minimum
Finishes	
Floor	Vinyl Flooring
Base	4" Resilient Cove Base
Walls	Washable Painted Gypsum Board
Ceiling	Washable Painted Gypsum Board
Doors	See General Unit data
Windows	See General Unit data
Storage	Linen closet, counter space, mirrored medicine cabinet
Special Requirements	No Special Requirements
Future Considerations	See General Unit data
Systems	
Mechanical	Exhaust fan, operable windows where possible
Plumbing	Single sink, toilet, tub/shower (in full bath), shower (in <sup>3</sup> / <sub>4</sub> bath)
Lighting	Fluorescent
Power	Counter height outlets
Communications	
Data	No Requirements
Telecom	No Requirements
Video	No Requirements
Acoustics	See General Unit data

Room Contents Group I		
Built-ins Group II & III	See Storage	
Movable-Equip.	No Special Requirements	
Furnishings	No Special Requirements	





BATHROOM I: FULL 40 ASF BATHROOM II: 1/2 25 ASF

#### BATHROOM III: 3/4 40 ASF

Figure 6.1.6-1: Housing Units Bathrooms I, II & III Room Diagrams

## 6.1.7 Covered Patio Housing Units

Description	Covered patio
Quantity	One
ASF	30 (@ 50%)
Number of	2-5
Occupants	
Adjacency Requirements	Living/dining or kitchen
Activities	Barbecue, gardening
Days of use	Weekdays: M-F
•	Weekends: S-S
Hours of use	24 hours per day
Ceiling Height	8' minimum
Finishes	
Floor	Cement with soil perimeter
Base	N/A
Walls	N/A
Ceiling	Trellis or some other shading
Line of Sight	
Doors	No Special Requirements
Windows	No Special Requirements
Storage	No Special Requirements
Signage	UCR standard
Security	UCR standard
Special Requirements	Prefer fenced
Future Considerations	See General Unit data
Systems	
Mechanical	N/A
Plumbing	Outdoor hose bib
Lighting	Wall mounted area lighting
Power	N/A
Communications	
Data	No Requirements
Telecom	No Requirements
Video	No Requirements
Acoustics	N/A

Room Contents Group I	
Built-ins	See Storage and Special Requirements sections
Group II & III	
Movable-Equip.	N/A
Furnishings	Patio furniture, barbecue

Plan per code.

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#### 6.2 CHILD DEVELOPMENT CENTER

## General Facility Child Development Center 6.2.1

Description	Center for daytime use	
Quantity	One	
GSF	14,000 square feet + covered play yard	
Number of	Staff	Volunteers
Occupants (staff,	Full Time: 30	Full Time: 10
parents, volunteers)	Part time: 15	Part time: 10
		Parents: 160
Number of	Infants: 12	Kindergarten: 24
Occupants (students)	Toddlers: 36	Full Time: All (144)
	Pre-School: 72	
Adjacency Requirements		thwest Mall. Vehicle access is to be from the
	Northwest Mall. The facil	ity should visually and acoustically shield the
	outdoor play areas from traffic.	
Activities	See Room Data Sheets.	
Days of use	Weekdays: Monday – Friday	
Hours of use	7 am – 6 p.m.	
The "Big Idea"	The Center should reflect a warm environment. Extensive windows	
	should enhance indoor/ o	utdoor integration.
Ceiling Height	There should be ample space in the indoor environment, bright and	
	open rather than dark and	d closed.
Finishes		
Floor		offer both quiet carpeted areas and hard leanup. Carpeting should be antibacterial.
		cilitate ease of replace as needed.
Base	4" Resilient Cove Base, T	
	'	floor areas in toilet rooms
Walls	'	be durable and washable particularly the
	lower half.	
Ceiling	All ceiling surfaces shou	ld be durable, washable at wet and service
U U	function areas, and provid	
Hallways and		urfaces should be provided for art exhibits. A
Corridors	variety of surface texture	s are encouraged. Entrances to classrooms
	should provide interest ar	nd be inviting to students.
Line of Sight	See Room Data Sheets.	

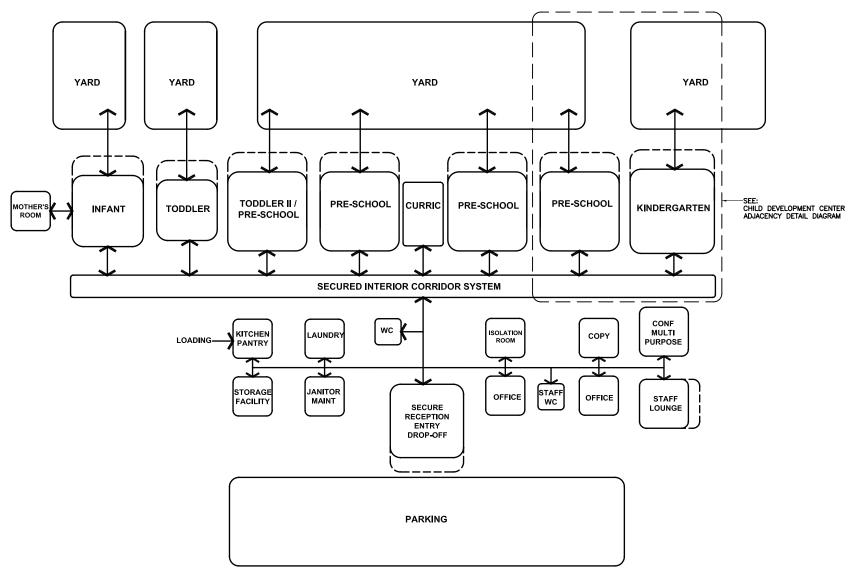
Doors	All interior doors are to be solid core with plastic laminate finish.
00013	Provide vision panels as required for safety and surveillance. (See
	"Security" below)
Windows	All windows should have safety glazing. Provide dual glazing for
	thermal and acoustic control. All east, south and west exposures
	should be provided with passive solar shading devises. Frames
	should be durable and low maintenance.
Storage	See Room Data Sheets.
Signage	Building and entry identification, way finding, accessibility and exiting
	signage should be provided. Parking entry / drop-off and site control
-	signage to be provided.
Security	The facility security system must interface with the Campus Housing
	Operations security control and monitoring system. The campus has
	provided the following as a basis for programming:
	<ul> <li>Lenel software &amp; hardware components are the primary operations platform for all access control including locks,</li> </ul>
	cameras, DVR's, & alarms.
	<ul> <li>IDH Max prox readers by BEST ACCESS SYSTEMS, hard</li> </ul>
	wired.
	<ul> <li>Mullion mounted prox readers on storefront applications Lenel</li> </ul>
	LPMM-6800.
	Electrified VonDuprin hardware 33 series.
	Detex brand removable mullion for lobby doors, heavy-duty
	model #F90KR.
	<ul> <li>Lenel card reader at lobby and all card reader locations.</li> </ul>
	Lenel card readers with door position switches on all gates in
	play area.
	<ul> <li>Cameras are to be Pelco pan, tilt, zoom (PTZ's) at lobby /</li> </ul>
	Reception area, and at all exterior locations including parking
	lots.
	<ul> <li>Central viewing station preferably at the lobby desk. A 2<sup>nd</sup> at</li> </ul>
	Access Control Room.
	DVR's (Digital Video Recorders) are to be Pelco DX 7000 series
	w/PTZ function
	Software to include Pelco motion detection sensor
	<ul> <li>Fixed cameras (if any) are to have "vara-focal" wide angle</li> </ul>
	lenses Deisette 4 wich lint
	Priority 1 wish list:
	<ul> <li>Infant Child Tag system, locks all doors when unauthorized exit is attenuated</li> </ul>
	is attempted

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	Facial Recognition system to prevent wrongful removal of children
	Remote/hardwired panic buttons throughout building for Police notification
	<ul> <li>On site central access control room and monitoring station See Section 5.8 for further information.</li> </ul>
Special Requirements	Title 22 code will prevail for all functions. See Room Data Sheets
Future Considerations	An Extended Day program for school age children may be added in the future.
Systems	
Mechanical	Fully air conditioned with separate zone for each classroom using roof mounted equipment with economizers. Exhaust air system for toilets and kitchen(ette)s.
Plumbing	Cold and tempered water to sinks, water cooler, waterless urinals; fully sprinklered.
Lighting	Recessed or surface fluorescent with multi switching. Egress lighting with integral battery pack.
Power	Provide child "safety" receptacles throughout.
Communications:	
Data	In each classroom, support and staff area.
Telecom	In each classroom, support and staff area.
Video	Cable TV system. See security requirements
Acoustics	All design elements should provide for sound attenuation especially in the infant and toddler classroom.

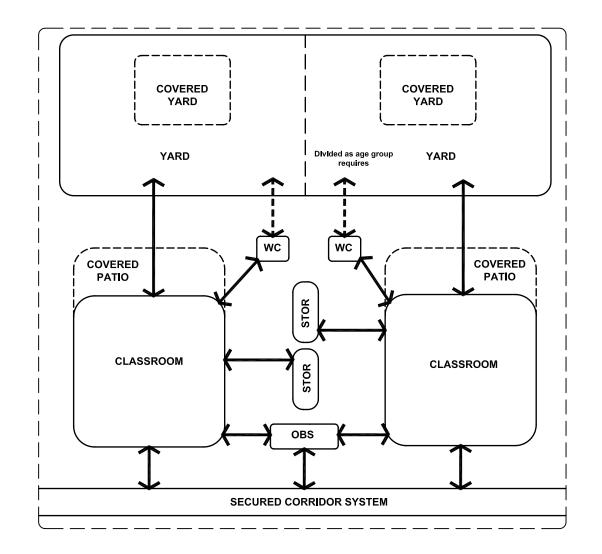
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6.0 Facility Requirements: Design Criteria



## CHILD DEVELOPMENT CENTER ADJACENCIES

Figure 6.2.1-1: Child Development Center Child Development Center Adjacency Diagram



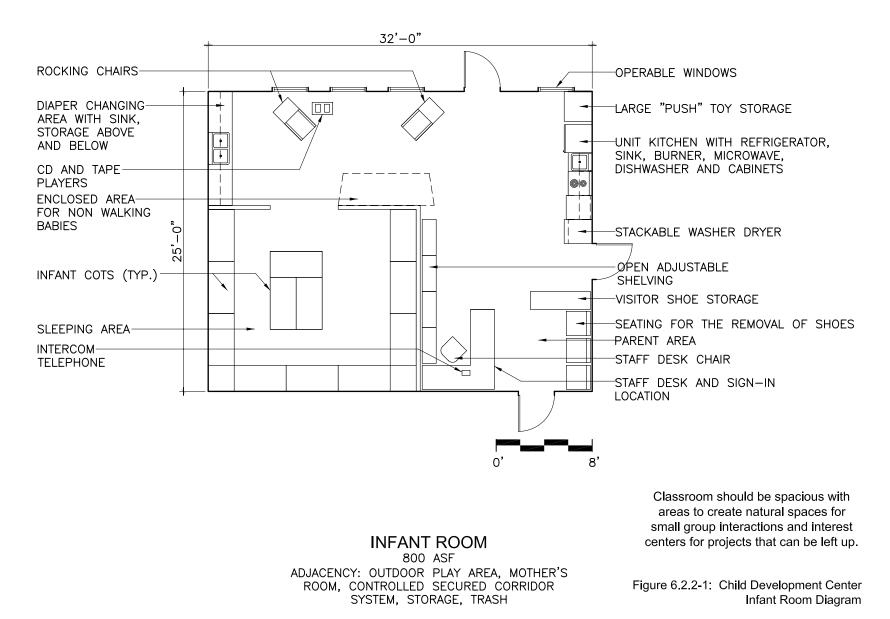
CHILD DEVELOPMENT CENTER ADJACENCIES DETAIL

Figure 6.2.1-2: Child Development Center Child Development Center Adjacency Detail Diagram

## 6.2.2 Infant Room Child Development Center

<b>D</b> · · ·	
Description	Infant age classroom
Quantity	One
ASF	800
Number of	Full Time: 4
Occupants (staff,	Part time: Varies
parents, volunteers)	
Number of	Full Time: 9-12
Occupants (children)	Part time:
Adjacency Requirements	Outdoor play area, Mother's Room, controlled corridor system. Direct
	access to storage, trash.
Activities	General Play, sleeping
Days of use	Weekdays: Monday – Friday
Hours of use	7 am – 6 p.m.
Ceiling Height	No high ceilings.
Finishes	
Floor	Mix of carpet (carpet squares) and sheet vinyl (at sink, diaper
	changing area, outdoor access areas).
Base	4" Resilient Cove Base
Walls	Painted (easy to clean semi-gloss) Gypsum Board, muted colors
	(pastels) are preferred
Ceiling	Acoustic tile
Line of Sight	General classroom supervision, blind spots should be minimized.
	Staff desks, diaper change area, kitchen, etc. should be configured
	such that at no time are staff required to have their backs to the room.
Doors	See General Facility Data
Windows	Operable. Please take into consideration that the babies like to chew
	on window ledges.
Storage	Staff, parent, visitor shoe storage (shoe-less room)
-	Walk-in lockable storage closet for staffs' personal belongings and
	classroom supplies, open adjustable shelves. Broom utility closet.
	Secured earthquake kit storage. Diaper/supply storage. Large
	storage for "push" toy storage, high chairs.
Signage	See General Facility Data
Security	See General Facility Data

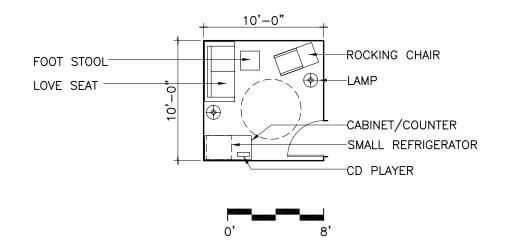
Spacial Paguiromanta	Enclosed area for non-walking babies
Special Requirements	0
	Unit Kitchen (alternately custom kitchen) and stackable washer / dryer, separated from the children.
	Parent sign-in / sign-out center
	Seating for the removal of shoes and shoe storage in the entry.
	Separated sleeping area
Future Considerations	No Special Requirements
	No Special Requirements
Systems Mechanical	Can Canaral Facility Data
	See General Facility Data
Plumbing	Sinks by diaper changing area and kitchen. Non-exposed plumbing.
Lighting	As required for Unit Kitchen.
Lighting Power	Dimmable. See General Facility Data
Power	High outlets at each wall. As required for Unit Kitchen. See General Facility Data.
Communications	Facility Data.
	Data naut adiagant ta antro sign in dagle
Data	Data port adjacent to entry sign in desk.
Telecom	Intercom / phone (See Room Diagram)
Video	See security requirements
Acoustics	All design elements should provide as much sound baffling as
	possible, especially at sleeping areas.
Room Contents	
Group I	
Built-ins	See Storage and Special Requirements sections.
	Unit Kitchen with refrigerator, sink, burner, microwave, dishwasher
	and cabinets.
Group II & III	
Movable-Equip.	CD and tape players
Furnishings	See Room Diagram



## 6.2.3 Mothers' Room Child Development Center

Description	
Description	Quiet space for nursing mothers
Quantity	
ASF	100
Number of	Full Time: N/A
Occupants (staff,	Part time: 4 at any one time
parents, volunteers)	
Number of	Full Time:
Occupants (students)	Part time:
Adjacency Requirements	Infant Room
Activities:	Mothers nursing their children or using a breast pump
Days of use	Weekdays: Monday – Friday
Hours of use	7 am – 6 p.m.
Ceiling Height	
Finishes	
Floor	Carpet
Base	4" Resilient Cove Base
Walls	Painted Gypsum Board
Ceiling	Acoustic tile
Line of Sight	No Special Requirements
Doors	See General Facility Data
Windows	None
Storage	Cabinets for storage of pump equipment
Signage	See General Facility Data
Security	See General Facility Data
Special Requirements	Counters
Future Considerations	No Special Requirements
Systems	
Mechanical	air-conditioning (heating and cooling)
Plumbing	See General Facility Data
Lighting	Overhead and lamps. See General Facility Data.
Power	Multiple outlets. See General Facility Data.

Communications	
Data	No Requirements
Telecom	No Requirements
Video	No Requirements
Acoustics	See General Facility Data.
Room Contents:	
Group I	
Built-ins	See Storage and Special Requirements sections
Group II & III	
Movable-Equip.	CD player
	Small refrigerator
Furnishings	See Room Diagram



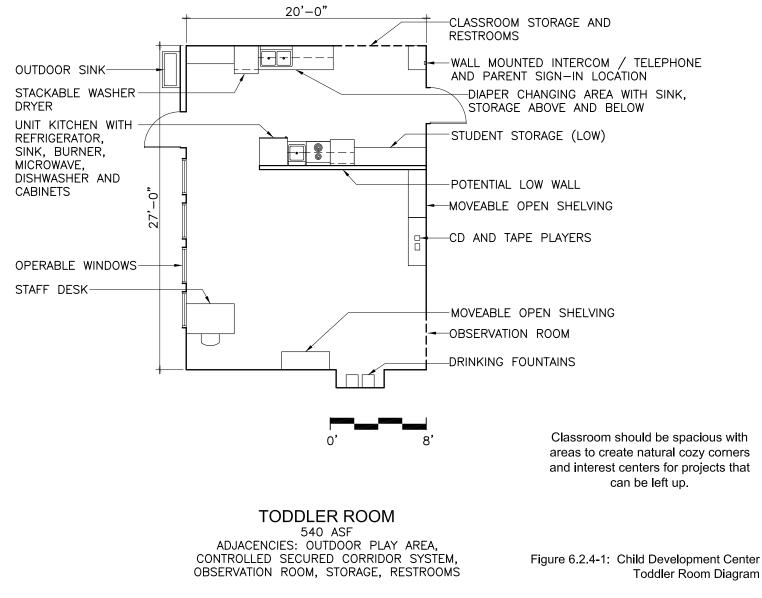
MOTHER'S ROOM 100 ASF ADJACENCIES: INFANT ROOM

Figure 6.2.3-1: Child Development Center Mother's Room Diagram

## 6.2.4 Toddler Room Child Development Center

Description	Toddler age classroom
Quantity	One
ASF	540
Number of	Full Time: 3
Occupants (staff,	Part time: varies
parents, volunteers)	
Number of Occupants	Full Time: 12
(students)	Part time:
Adjacency Requirements	Outdoor play area, controlled secured corridor system, observation
	room, storage, restrooms
Activities	Numerous learning activities including: Reading, Art, Science, Music,
	General Play
Days of use	Weekdays: Monday – Friday
Hours of use	7 am – 6 p.m.
Ceiling Height	No high ceilings. Prefer to have the ability to hang things from the
0 0	ceiling. 8' Min. 12' Max.
Finishes	
Floor	Primarily carpet with Vinyl Flooring at sink, eating areas, toilet, diaper
	changing, and outdoor access areas.
Base	4" Resilient Cove Base
Walls	Painted Gypsum Board
Ceiling	Acoustic tile
Line of Sight/	General blind spots should be minimized for classroom supervision.
Supervision	Staff desks, kitchen, diaper changing etc. should be configured such
	that at no time are staff required to have their backs to the room.
Doors	Provide view panels at entry doors.
Windows	Operable and shaded. See General Facility Data.
Storage	Movable open shelving at entire perimeter.
•	Student storage: Backpacks, jackets, etc (preferably near back door).
	Walk-in lockable storage closets for staff personal belongings and
	classroom supplies, open adjustable shelves.
	Mat storage (tall) adjacent sleeping area and accessible to students.
	Lockable broom/utility closet.
	Secured earthquake kit storage.
	Built-in (low) cabinets for toy storage.
	Storage for large toys, such as cars.
Signage	See General Facility Data

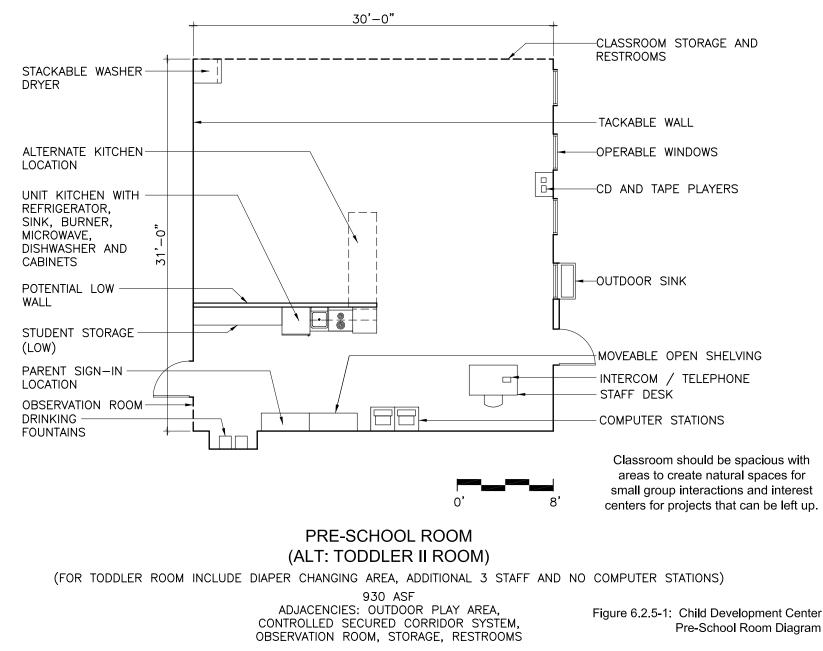
Special Requirements	Observation room.
Special Requirements	Unit Kitchen (alternately custom kitchen) and stackable washer /
	dryer.
	(Shared facilities w/ adj. Classroom are acceptable)
	Parent sign-in/sign-out center
	Rounded edges
	Diaper changing area with sink
Future Considerations	
	No Special Requirements
Systems	
Mechanical	Ceiling Fan, See General Facility Data
Plumbing	See Children's Restrooms Data Sheet and Diagram.
	Trough-sink with a surrounding work surface for science and art
	projects
	Outdoor sink/hose
	No visible pipes
L'abda a	As required for Unit Kitchen
Lighting	Dimmable. See General Facility Data
Power	High outlets at each wall for music, science, cooking areas. As
<b>A</b> iii	required for Unit Kitchen. See General Facility Data
Communications	Defense dis d'acception also also de sel
Data	Data port adjacent to entry sign in desk.
Telecom	Intercom / phone (See Room Diagram)
Video	See security requirements
Acoustics	All design elements should provide as much sound baffling as
	possible, especially at sleeping areas.
Room Contents	
Group I	
Built-ins	See Storage and Special Requirements sections.
	Unit Kitchen with refrigerator, sink, burner, microwave, dishwasher
Crown II 8 III	and cabinets.
Group II & III	CD and tang players
Movable-Equip.	CD and tape players
Furnishings	Movable tables and chairs



## 6.2.5 Pre-School Room Child Development Center

Description	Pre-school age classroom
Quantity	Four (one to be an optional classroom for older toddlers)
ASF	930 each
Number of	Full Time: 3
Occupants (staff,	Part time:
parents, volunteers)	
Number of	Full Time: 24
Occupants (students)	Part time:
Adjacency Requirements	Outdoor play area, controlled secured corridor system, observation room, storage, restrooms
Activities	Numerous learning activities including: Art, Science, Music, Reading, Information Technology, General Play
Days of use	Weekdays: Monday – Friday
Hours of use	7 am – 6 p.m.
Ceiling Height	No high ceilings. Prefer to have the ability to hang things from the ceiling. 8' Min. 12' Max.
Finishes	
Floor	Mix of carpet (carpet squares) and Vinyl Flooring (at sink, toilet, eating areas, art and science areas, outdoor access areas).
Base	4" Resilient Cove Base
Walls	Painted Gypsum Board, muted colors (pastels) are preferred
Ceiling	Acoustic tile
Line of Sight	General classroom supervision, blind spots should be minimized. Restroom area must be visible by staff from classroom. Staff desks, kitchen, etc. should be configured such that at no time are staff required to have their backs to the room.
Doors	
Windows	Provide view panels at entry doors. Operable
WINDUWS	

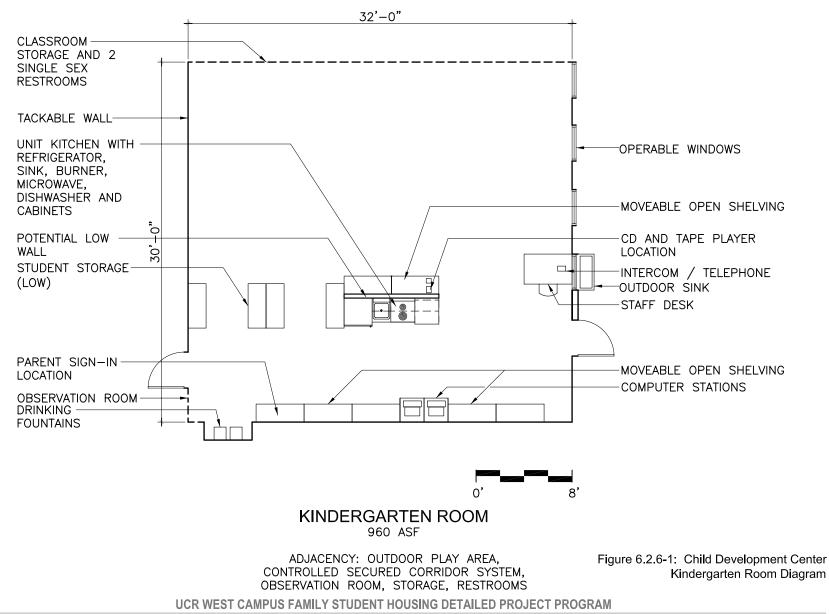
Storage	Student storage: backpacks, jackets, etc.
	Walk-in lockable storage closets for staff personal belongings and
	classroom supplies, open adjustable shelves.
	Mat storage (tall) adjacent sleeping area and accessible to students.
	Broom utility closet.
	Secured earthquake kit storage.
	Cupboards in bathroom area.
	Built-in (low) cabinets for toy storage.
Signage	See General Facility Data
Security	See General Facility Data
Special Requirements	Observation room
	Unit Kitchen (alternately custom kitchen) and stackable washer / dryer
	(Shared facilities w/ adj. Classroom are acceptable)
	Parent sign-in / sign-out center
	Child height drinking fountain
Future Considerations	No Special Requirements
Systems	
Mechanical	Ceiling Fan
Plumbing	See Children's Restrooms Data Sheet and Diagram.
	Trough sink w/ surrounding work surface for sciences and art projects.
12.1.0.1	As required for Unit Kitchen.
Lighting	Dimmable. See General Facility Data
Power	Multiple high/low outlets at each wall. As required for Unit Kitchen. See General Facility Data.
Communications	See General Facility Data.
Data	Data port adjacent to entry sign in desk.
Telecom	Intercom / phone (See Room Diagram)
Video	See security requirements
Acoustics	All design elements should provide as much sound baffling as
	possible, especially at sleeping areas.
Room Contents	
Group I	
Built-ins	See Storage and Special Requirements sections.
	Unit Kitchen with refrigerator, sink, burner, microwave, dishwasher
	and cabinets.
Group II & III	
Movable-Equip.	CD and tape players
	Computer stations
Furnishings	Movable tables and chairs



# 6.2.6 Kindergarten Room Child Development Center

Description	School age classroom
Quantity	One
ASF	960
Number of	Full Time: 2
Occupants (staff,	Part time: 1
parents, volunteers)	
Number of	Full Time: 24
Occupants (students)	
Adjacency Requirements	Outdoor play area, controlled secured corridor system, observation
	room, storage, restrooms
Activities	Numerous learning activities including: Art, Science, Music,
	Information Technology, General Play
Days of use	Weekdays: Monday – Friday
Hours of use	7 am – 6 p.m.
Ceiling Height	No high ceilings. Prefer to have the ability to hang things from the
	ceiling. (8' Min. 12' Max.)
Finishes	
Floor	Primarily carpet with Vinyl Flooring at sink, toilet rooms, and outdoor
	access areas.
Base	4" Resilient Cove Base
Walls	Painted Gypsum Board
Ceiling	Acoustic tile
Line of Sight/	"Blind spots" should be minimized for supervision. Staff desks,
Supervision	kitchen, etc. should be configured so staff do not have their backs to
_	the room.
Doors	Provide view panels at entry doors.
Windows	Operable. See General Facility Data.
Storage	Movable open shelving along perimeter as possible.
	Student storage: backpacks, jackets, etc.
	Walk-in lockable storage closet for staff's personal belongings and
	classroom supplies, open adjustable shelves.
	Broom utility closet.
	Secured earthquake kit storage.
Signage	See General Facility Data

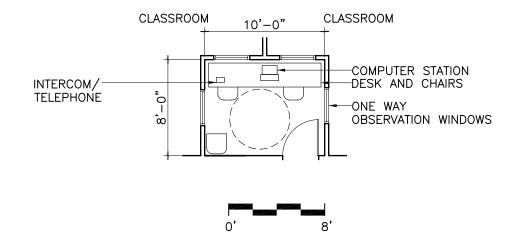
Security	See General Facility Data
Special Requirements	Observation room
Special Requirements	Unit Kitchen (alternately custom kitchen)
	(Shared facilities w/ adj. Classroom are acceptable)
<b>E</b> ( <b>A</b>	Parent sign-in / sign-out center
Future Considerations	Alternate use functions may utilize this space if the program is not all
	day, (music pull-out etc.)
Systems	
Mechanical	No Special Requirements, See General Facility Data
Plumbing	<ul> <li>See Children's Restrooms Data Sheet and Diagram.</li> </ul>
	<ul> <li>Trough sink w/ surrounding work surface for sciences and art projects.</li> </ul>
	As required for Unit Kitchen.
Lighting	Dimmable. See General Facility Data
Power	High / low outlets at each wall. As required for Unit Kitchen. See
	General Facility Data
Communications	
Data	Data port adjacent to entry sign-in desk.
Telecom	Intercom / phone (See Room Diagram)
Video	See security requirements
Acoustics	All design elements should provide as much sound baffling as
	possible, especially at sleeping areas.
Room Contents	
Group I	
Built-ins	See Storage and Special Requirements sections.
	Unit Kitchen with refrigerator, sink, burner, microwave, dishwasher and cabinets.
Group II & III	
Movable-Equip.	CD and tape players
	Computer stations
Furnishings	Movable tables and chairs



# 6.2.7 Observation Room Child Development Center

Description	Parent / teacher observation of classrooms
Quantity	5 to 7 (TBD in building configuration)
ASF	80 each (when used by "paired" classrooms)
Number of	Part time: 3
Occupants (staff,	
parents, volunteers)	
Number of	See Future Considerations
Occupants (students)	
Adjacency Requirements	Next to each classroom.
	Private, for parents and teachers only.
Activities	Observation of student activity.
Days of use	Weekdays: Monday – Friday
Hours of use	7 am – 6 p.m.
Ceiling Height	No high ceilings. 8' min.
Finishes	
Floor	Carpet
Base	4" Resilient Cove Base
Walls	Painted Gypsum Board
Ceiling	Acoustic tile
Line of Sight	
Doors	See General Facility Data
Windows	Observation windows should provide one way viewing.
Storage	No Requirements
Signage	See General Facility Data
Security	See General Facility Data
Special Requirements	Provide individual volume controlled intercom to allow observers to
	hear classroom activities.
Future Considerations	No Special Requirements
Systems	
Mechanical	See General Facility Data
Plumbing	No Requirements
Lighting	See General Facility Data
Power	See General Facility Data

Communications	
Data	Data port adjacent to entry sign in desk. Computer station.
Telecom	Intercom / phone (See Room Diagram)
Video	Video interface required
Acoustics	See General Facility Data
Room Contents	
Group I	
Built-ins	No Requirements
Group II & III	
Movable-Equip.	No Requirements
Furnishings	See Room Diagram



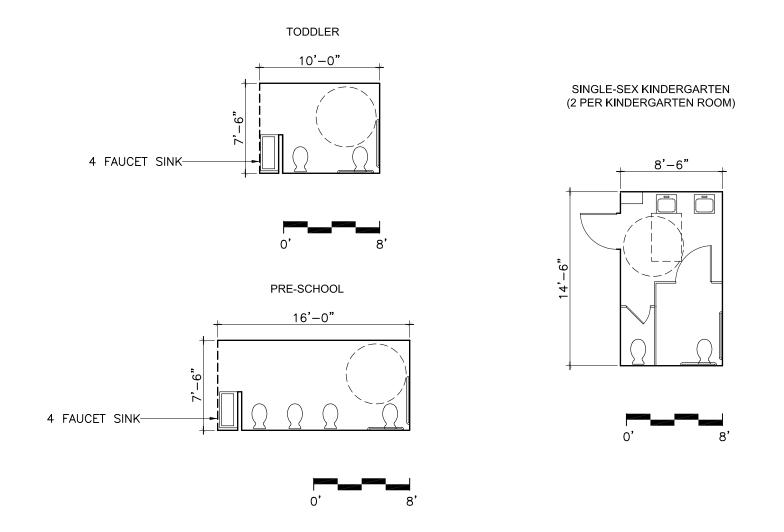
### OBSERVATION ROOM FOR PAIRED CLASSROOMS 80 ASF ADJACENCY: EACH CLASSROOM

Figure 6.2.7-1: Child Development Center Observation Room Diagram

### 6.2.8 Children's Restrooms Child Development Center

Description	Restrooms for child use
Quantity	1 Toddler
	4 Pre-School
	2 Kindergarten
ASF	75 Toddler
	480 Pre-school
	246 Kindergarten
Number of	Full Time: N/A
Occupants (staff,	Part time: 1
parents, volunteers)	
Number of	Full Time: N/A
Occupants (students)	Part time: 1-4
Adjacency Requirements	Classrooms and playground (if no outdoor restrooms are provided).
Activities	
Days of use	Weekdays: Monday – Friday
Hours of use	7 am – 6 p.m.
Ceiling Height	8' min.
Finishes	
Floor	Ceramic Tile
Base	Ceramic Tile Coved
Walls	Ceramic Tile min. wainscot height
Ceiling	Washable Painted Gypsum Board
Line of Sight	Ease of staff observation is required. See window section.
Doors	See Room Data Sheet
Windows	Toddlers: Min. 2' observation window
	Toddler (2-years): Min. 4' observation window
	Pre-School: Min. 3' observation window
	Kindergarten: No window
Storage	Adjacent storage cabinet for diapers, wipes and toilet paper
Signage	See General Facility Data
Security	See General Facility Data
Special Requirements	ADA compliant toilet
Future Considerations	No Special Requirements

Systems	
Mechanical	Provide exhaust typ. See General Facility Data
Plumbing	Toilets, trough sinks, floor drains. Waterless urinals where provided.
Lighting	See General Facility Data
Power	See General Facility Data
Communications	
Data	No Requirements
Telecom	No Requirements
Video	No Requirements
Acoustics	See General Facility Data
Room Contents	
Group I	
Built-ins	See Storage section. Provide typical toilet room accessories (recessed).
Group II & III	
Movable-Equip.	No Requirements
Furnishings	No Requirements



CHILDREN'S RESTROOMS TODDLER 75 ASF, PRE-SCHOOL 120 ASF, KINDERGARTEN 123 ASF/PER SINGLE SEX ROOM

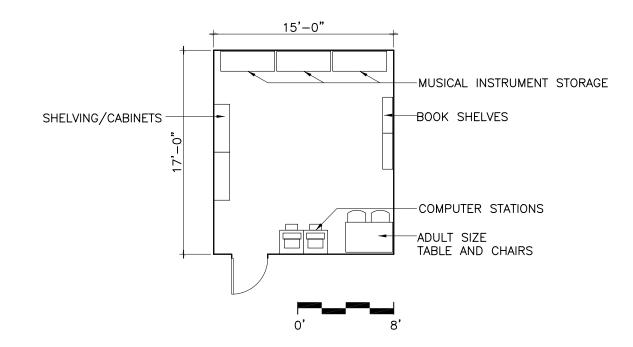
> ADJACENCY: EACH CLASSROOM AND PLAY YARD (IF NO OUTDOOR RESTROOMS ARE PROVIDED)

Figure 6.2.8-1: Child Development Center Children's Restrooms Diagram

# 6.2.9 Curriculum Room Child Development Center

Description	Staff work room, student library and music room
Quantity	One
ASF	255
Number of	Full Time: 1
Occupants (staff,	Part time: 17
parents, volunteers)	
Number of	Part time: 20 at any one time.
Occupants (students)	
Adjacency Requirements	Near Classrooms
Activities	Teachers: lesson preparation. Students: music and movement
	classes
Days of use	Weekdays: Monday – Friday
Hours of use:	7 am – 6 p.m. Possible evening use (7-9)
Ceiling Height	See General Facility Data.
Finishes	
Floor	Carpet
Base	4" Resilient Cove Base
Walls	Painted Gypsum Board
Ceiling	Acoustic tile
Line of Sight	No Special Requirements
Doors	No Special Requirements
Windows	No Special Requirements
Storage	Ample shelving and cabinetry for the storage of supplies, such as
	construction paper, and markers. Butcher paper holders. Cabinets
	for the storage of musical instruments. Bookshelves for the library.
Signage	See General Facility Data.
Security	See General Facility Data.
Special Requirements	No Special Requirements
Future Considerations	No Special Requirements
Systems	
Mechanical	See General Facility Data.
Plumbing	No Requirements
Lighting	See General Facility Data.
Power	See General Facility Data.

Communications	
Data	2 Computer stations
Telecom	See General Facility Data.
Video	See security requirements
Acoustics	See General Facility Data.
Room Contents	
Group I	
Built-ins	See Storage Sections.
Group II & III	
Movable-Equip.	No Special Requirements
Furnishings	See Room Diagram



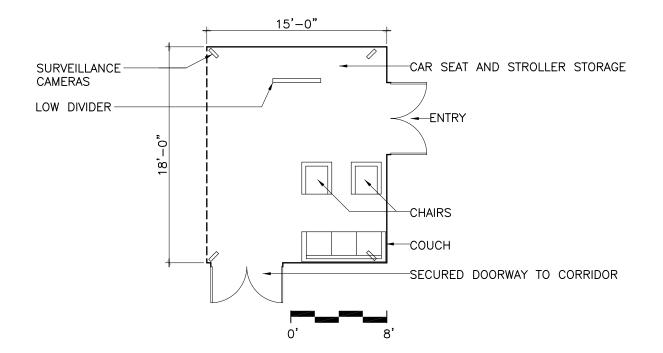
#### CURRICULUM ROOM 255 ASF ADJACENCY: IF THIS BECOMES EDC. THEN ACCESS TO KITCHEN IS PREFERRED

Figure 6.2.9-1: Child Development Center Curriculum Room Diagram

# 6.2.10 Entry/Lobby/Stroller Storage Child Development Center

Description	Entry and lobby / stroller storage
Quantity	One
ASF	270
Number of	Full Time:
Occupants (staff,	Part time: up to 15
parents, volunteers)	
Number of	Full Time:
Occupants (students)	Part time: up to 15
Adjacency Requirements	Reception
Activities	Entry, waiting, welcoming of children and parents, registration
Days of use	Weekdays: Monday – Friday
Hours of use	7 am – 6 p.m.
Ceiling Height	See General Facility Data
Finishes	
Floor	Carpet
Base	4" Resilient Cove Base
Walls	Painted Gypsum Board
Ceiling	Acoustic tile
Line of Sight	Exterior entry area and Reception must be visible.
Doors	See General Facility Data
Windows	See General Facility Data
Storage	Ample area for temporary, unenclosed storage of car seats and strollers during drop-off and pick-up of students.
Signage	Saa Canaral Facility Data
Security	Security cameras and controlled access are required. See General
•	Facility Data for further requirements.
Special Requirements	Child-friendly, inviting area that appeals to children. Small area for
• •	parents to congregate, but not so inviting to promote congregating.
Future Considerations	No Special Requirements
Systems	
Mechanical	See General Facility Data
Plumbing	No Requirements
Lighting	Soft lighting. See General Facility Data
Power	See General Facility Data

Communications	
Data	No Special Requirements
Telecom	No Special Requirements
Video	See security requirements
Acoustics	See General Facility Data
Room Contents	
Group I	
Built-ins	No Special Requirements
Group II & III	
Movable-Equip.	No Requirements
Furnishings	See Room Diagram



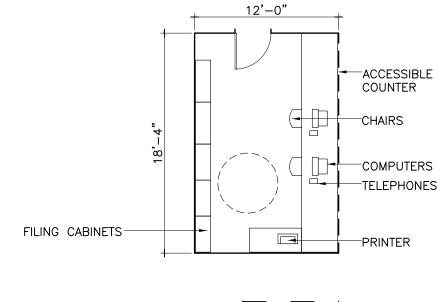
### ENTRY / LOBBY / STROLLER STORAGE 270 ASF ADJACENCIES: RECEPTION

Figure 6.2.10-1: Child Development Center Entry / Lobby / Stroller Storage Room Diagram

# 6.2.11 Reception Child Development Center

Description	Reception/Front Desk
Quantity	One
ASF	220
Number of	Full Time: 2
Occupants (staff,	Part time: 1
parents, volunteers)	
Number of	Full Time: N/A
Occupants (students)	Part time: N/A
Adjacency Requirements	Entry/Lobby and Isolation Room
Activities	Reception and administrative
Days of use	Weekdays: Monday – Friday
Hours of use	7 am – 6 p.m.
Ceiling Height	7 am – 6 p.m. See General Facility Data
Finishes	
Floor	Carpet
Base	4" Resilient Cove Base
Walls	Painted Gypsum Board
Ceiling	Acoustic tile
Line of Sight	Full view to exterior, Entry/Lobby area, doors to classrooms and into
-	Isolation Room
Doors	See General Facility Data
Windows	See General Facility Data
Storage	Ample storage for filing, both filing cabinets and binders
Signage	See General Facility Data
Security	Central security system viewing station must be monitored by
-	reception desk. Button to open doors into secured corridor is
	necessary at the desk. See General Facility Data for further
	requirements.
Special Requirements	No Special Requirements
Future Considerations	No Special Requirements
Systems	
Mechanical	See General Facility Data
Plumbing	No Requirements
Lighting	See General Facility Data
Power	See General Facility Data

Communications	
Data	Data / telecom ports required at each work station.
Telecom	Data / telecom ports required at each work station.
Video	See security requirements
Acoustics	See General Facility Data
Room Contents	
Group I	
Built-ins	Accessible counter in between Reception and Entry/Lobby. See
	Storage and Special Requirements
Group II & III	
Movable-Equip.	Computers, printers
Furnishings	See Room Diagram





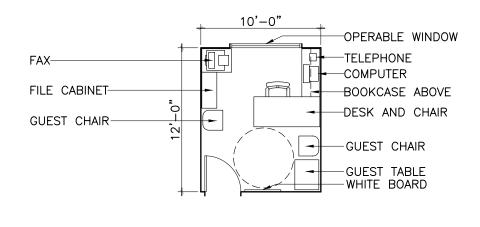
RECEPTION 220 ASF ADJACENCIES: ENTRY/LOBBY AND ISOLATION ROOM

Figure 6.2.11-1: Child Development Center Reception Room Diagram

# 6.2.12 Offices Child Development Center

Description	Office for Child Development Center Director and Assistant Director
Quantity	Two
ASF	120 each
Number of	Full Time: 1
Occupants (staff,	Part time: 3
parents, volunteers)	
Number of	Full Time: N/A
Occupants (students)	Part time: N/A
Adjacency Requirements	Away from reception area and traffic to kitchen and restrooms. Prefer
	access to play ground without going through classrooms.
Activities	General administrative activities. Small group meetings will be held in
	the Director's Office.
Days of use	Weekdays: Monday – Friday
Hours of use	7 am – 6 p.m.
Ceiling Height	8' min., 9' pref.
Finishes	
Floor	Carpet
Base	4" Resilient Cove Base
Walls	Painted Gypsum Board
Ceiling	Acoustic tile
Line of Sight	No Special Requirements
Doors	See General Facility Data
Windows	See General Facility Data
Storage	Provide ample space for storage furniture.
Signage	See General Facility Data
Security	See General Facility Data
Special Requirements	Director's Office should be large enough to hold small group
	meetings.
Future Considerations	No Special Requirements
Systems	
Mechanical	See General Facility Data
Plumbing	No Requirements
Lighting	See General Facility Data
Power	See General Facility Data

Communications	
Data	Provide Data / Telecom
Telecom	Provide Data / Telecom
Video	No Requirements
Acoustics	See General Facility Data
Room Contents	
Group I	
Built-ins	
Group II & III	
Movable-Equip.	Computer, fax, telephone
Furnishings	Small table and chairs in Director's Office, desk, file cabinet and bookcase in both offices.





#### OFFICE 120 ASF ADJACENCY: AWAY FROM RECEPTION AREA AND TRAFFIC TO KITCHEN AND RESTROOMS. PREFER ACCESS TO PLAY GROUND WITHOUT GOING THROUGH CLASSROOMS

Figure 6.2.12-1: Child Development Center Office Room Diagram

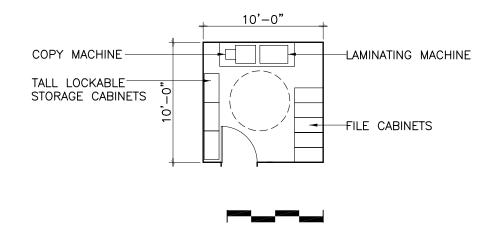
UCR WEST CAMPUS FAMILY STUDENT HOUSING DETAILED PROJECT PROGRAM

**R. L. BINDER, FAIA ARCHITECTURE & PLANNING** 

# 6.2.13 Copy Center Child Development Center

Deservation	
Description	Copy Room
Quantity	One
ASF	100
Number of	Full Time:
Occupants (staff,	Part time: 2
parents, volunteers)	
Number of	Full Time: 0
Occupants (students)	Part time: 0
Adjacency Requirements	Reception and offices
Activities	Copying, filing
Days of use	Weekdays: Monday – Friday
Hours of use	7 am – 6 p.m.
Ceiling Height	See General Facility Data
Finishes	
Floor	Carpet
Base	4" Resilient Cove Base
Walls	Painted Gypsum Board
Ceiling	Acoustic tile
Line of Sight	
Doors	See General Facility Data
Windows	See General Facility Data
Storage	Filing cabinets, storage for copy paper, toner and/or cartridges
Signage	See General Facility Data
Security	See General Facility Data
Special Requirements	No Special Requirements
Future Considerations	Communication requirements for future office equipment to be
	considered.
Systems	
Mechanical	Well-ventilated (requirement of copy machine). See General Facility
	Data
Plumbing	No Requirements
Lighting	See General Facility Data
Power	110 30 Amp for one copy machine and one laminating machine

Communications	
Data	Provide one data/telecom outlet for future equipment.
Telecom	Provide one data/telecom outlet for future equipment.
Video	No Requirements
Acoustics	See General Facility Data
Room Contents	
Group I	
Built-ins	Tall lockable storage cabinets. See Room Diagram
Group II & III	
Movable-Equip.	Copy Machine, Laminating Machine
Furnishings	



0'

8'

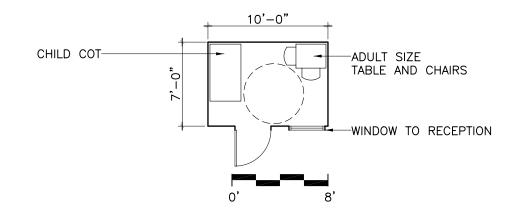
#### COPY CENTER 100 ASF ADJACENCIES: RECEPTION AND OFFICES

Figure 6.2.13-1: Child Development Center Copy Center Room Diagram

### 6.2.14 Isolation/Small Conference Room Child Development Center

Description	Sick child waiting area/small conference room
Quantity	One
ASF	70
Number of	Full Time:
Occupants (staff,	Part time: 3-4
parents, volunteers)	
Number of	Full Time:
Occupants (students)	Part time: 1
Adjacency Requirements	Reception, Restroom
Activities	Private meetings of 3-4 people and a place for a sick child to wait for pick-up.
Days of use	Weekdays: Monday – Friday
Hours of use	7 am – 6 p.m.
Ceiling Height	See General Facility Data
Finishes	
Floor	Tile
Base	4" Resilient Cove Base
Walls	Painted Gypsum Board
Ceiling	Acoustic tile
Line of Sight	Reception must have a clear view into the room.
Doors	See General Facility Data
Windows	Interior window for viewing from Reception
Storage	No Special Requirements
Signage	See General Facility Data
Security	See General Facility Data
Special Requirements	Title 22 code will prevail for all functions.
Future Considerations	No Special Requirements

Systems	
Mechanical	Room shall have:
	<ul> <li>Dedicated HVAC system to prevent the spread of airborne infectious disease</li> <li>High outside make up air</li> </ul>
	<ul> <li>Minimum 10 air changes per hour exhausted away from play areas, building entrances and air intakes</li> </ul>
Plumbing	No Requirements
Lighting	See General Facility Data
Power	See General Facility Data
Communications	
Data	Data port adjacent to entry sign-in desk.
Telecom	Intercom / phone (See Room Diagram)
Video	No Requirements
Acoustics	See General Facility Data
Room Contents	
Group I	
Built-ins	No Requirements
Group II & III	
Movable-Equip.	No Requirements
Furnishings	See Room Diagram



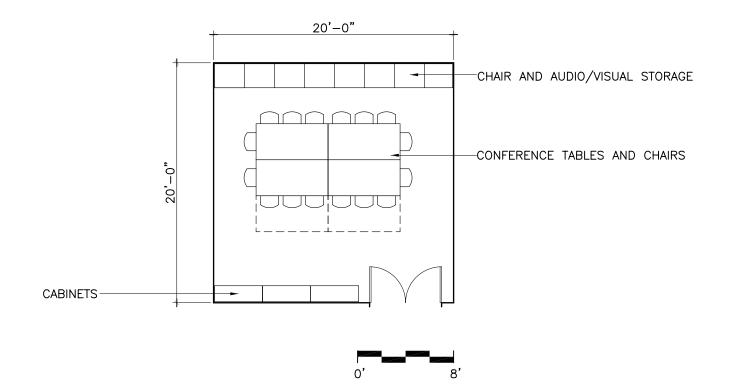
# ISOLATION / SMALL CONFERENCE ROOM 70 ASF ADJACENCIES: RECEPTION

Figure 6.2.14-1: Child Development Center Isolation / Small Conference Room Diagram

# 6.2.15 Conference/Multi-Purpose Room Child Development Center

Description	Multi-purpose and large conferences
Quantity	One
ASF	380
Number of	Full Time:
Occupants (staff,	Part time: 25 max. at any one time
parents, volunteers)	···· · · · · · · · · · · · · · · · · ·
Number of	Full Time:
Occupants (students)	Part time: 25 max. at any one time
Adjacency Requirements	Adjacent to Reception and Entry/Lobby, behind the security point.
Activities	Staff meetings, parent-teacher conferences, picture days, child
	vision/hearing screening, student music performances, parent training
Days of use	Weekdays: Monday – Friday
Hours of use:	7 am – 6 p.m. Possible evening use as well
Configurations/ Room	Preferably square
Proportions	
Ceiling Height	9' min. (11' pref.)
Finishes	
Floor	Carpet
Base	4" Resilient Cove Base
Walls	Painted Gypsum Board
Ceiling	Acoustic tile
Line of Sight	No Special Requirements
Doors	Provide double door to facilitate furniture movement.
Windows	See General Facility Data.
Storage	Storage of stackable chairs, folding tables, Audio/Visual equipment
-	and miscellaneous facility items.
Signage	See General Facility Data.
Security	See General Facility Data.
Special Requirements	No Special Requirements
Future Considerations	May be used as an Extended Day Care facility in the future, with easy
	access to the kitchen.

Systems	
Mechanical	See General Facility Data.
Plumbing	See General Facility Data.
Lighting	See General Facility Data.
Power	See General Facility Data.
Communications	
Data	Yes
Telecom	Yes
Video	See security requirements
Acoustics	Music performances to be considered. See General Facility Data.
Room Contents	
Group I	
Built-ins	See Storage section and room diagram.
Group II & III	
Movable-Equip.	Audio / Visual equipment
Furnishings	Sectional relocatable conference tables and stackable chairs. See Room Diagram



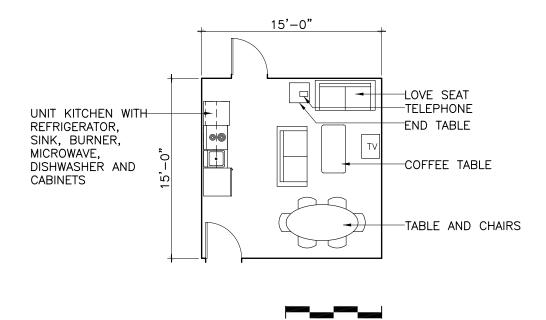
### CONFERENCE / MULTI-PURPOSE ROOM 400 ASF ADJACENCIES: RECEPTION AND ENTRY/LOBBY

Figure 6.2.15-1: Child Development Center Conference / Multi-Purpose Room Diagram

# 6.2.16 Staff Lounge Child Development Center

Description	Staff Lounge and Break Room
Quantity	One
ASF	225
Number of	Full Time:
Occupants (staff,	Part time: 10-12
parents, volunteers)	
Number of	Full Time:
Occupants (students)	Part time: 0
Adjacency Requirements	Exterior shaded patio area
Activities	Staffs' lunch and break area, including food preparation, TV, private phone calls and lesson planning.
Days of use	Weekdays: Monday – Friday
Hours of use	7 am – 6 p.m.
Ceiling Height	8' min.
Finishes	***************************************
Floor	Vinyl Tile at Unit Kitchen and lunch area, carpet at remainder.
Base	4" Resilient Cove Base
Walls	Painted Gypsum Board
Ceiling	Acoustic tile
Line of Sight	No Special Requirements
Doors	See General Facility Data
Windows	See General Facility Data
Storage	Cabinets for storage of limited kitchen utensils.
Signage	See General Facility Data
Security	See General Facility Data
Special Requirements	Prefer an adjacent shaded, outdoor patio area with picnic tables/patio
	furniture. Should be isolated from public and students.
Future Considerations	No Special Requirements
Systems	
Mechanical	See General Facility Data
Plumbing	As required for Unit Kitchen.
Lighting	See General Facility Data
Power	As required for Unit Kitchen.

Communications	
Data	2 Ports
Telecom	Yes
Video	No Requirements
Acoustics	See General Facility Data
Room Contents	
Group I	
Built-ins	See Storage and Special Requirements.
	Unit Kitchen with refrigerator, sink, burner, microwave, dishwasher
	and cabinets.
Group II & III	
Movable-Equip.	Microwave, refrigerator, TV
Furnishings	Table, chairs, sofa. See Room Diagram



#### STAFF LOUNGE 225 ASF ADJACENCY: EXTERIOR SHADED PATIO AREA

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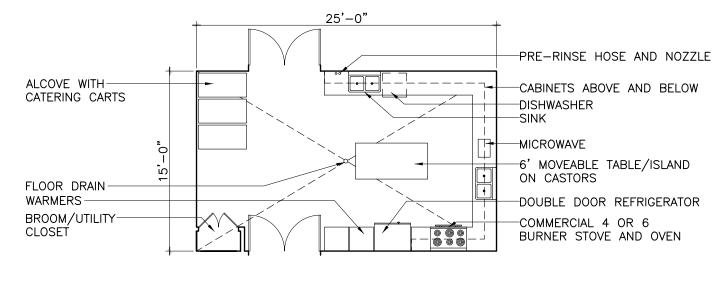
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Figure 6.2.16-1: Child Development Center Staff Lounge Room Diagram

# 6.2.17 Kitchen/Pantry/Loading Child Development Center

Description	Commercial kitchen, pantry, indoor storage
Quantity	One
ASF	375
Number of	Full Time: 2
Occupants (staff,	Part time: 0-5
parents, volunteers)	
Number of	Full Time: N/A
Occupants (students)	Part time: N/A
Adjacency Requirements	Direct access to loading, parking, trash and storage. Peripheral
	access to classrooms.
Activities	Preparation of food for Child Development Center.
Days of use	Weekdays: Monday – Friday
Hours of use	7 am – 6 p.m.
Ceiling Height	9' min.
Finishes	
Floor	Quarry tile
Base	Quarry tile coved
Walls	Washable Painted Gypsum Board
Ceiling	Washable Acoustic tile
Line of Sight	No Special Requirements
Doors	See General Facility Data
Windows	See General Facility Data
Storage	See General Facility Data Lockable cabinets over and under sinks and counters.
-	Alcove for the storage of catering carts
	Broom/utility closet
Signage	See General Facility Data
Security	See General Facility Data
Special Requirements	Exterior access for delivery.
	All surfaces must be washable and code compliant.
	Double door lockable refrigerator.
	(2) Single width/door stand-up warmers
	Commercial 4 or 6 burner stove and oven

Systems	
Mechanical	Commercial hood, ventilation for stove/oven. See General Facility
	Data
Plumbing	(2) Two compartment sinks with garbage disposal.
_	Floor drain.
	Pre-rinse hose and nozzle.
	Dishwasher under the counters.
Lighting	See General Facility Data
Power	See General Facility Data
Communications	
Data	Yes
Telecom	Yes
Video	No Requirements
Acoustics	No Special Requirements
Room Contents	
Group I	
Built-ins	See Room Diagram
Group II & III	-
Movable-Equip.	Microwave oven
Furnishings	6' Movable table/island on castors. See Room Diagram





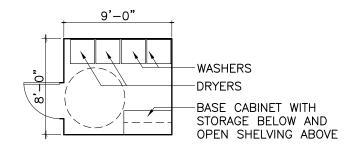
#### KITCHEN / PANTRY / LOADING 375 ASF ADJACENCIES: LOADING/PARKING, TRASH AND STORAGE; ACCESS TO CLASSROOMS

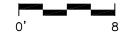
Figure 6.2.17-1: Child Development Center Kitchen / Pantry / Loading Room Diagram

# 6.2.18 Laundry Room Child Development Center

<b>-</b>	
Description	Laundry Room
Quantity	One
ASF	72
Number of	Full Time:
Occupants (staff,	Part time: 2
parents, volunteers)	
Number of	Full Time: N/A
Occupants (students)	Part time: N/A
Adjacency Requirements	Kitchen and janitorial room.
Activities	Washing infant bedding, towels, etc.
Days of use	Weekdays: Monday – Friday
Hours of use	7 am – 6 p.m.
Ceiling Height	8' min. 9' pref.
Finishes	
Floor	Vinyl Flooring
Base	4" Resilient Cove Base
Walls	Washable Painted Gypsum Board
Ceiling	Washable Acoustic tile
Line of Sight	No Special Requirements
Doors	See General Facility Data. Verify width to accommodate equipment.
Windows	See General Facility Data
Storage	Cabinets for storage of detergent, etc.
Signage	See General Facility Data
Security	See General Facility Data
Special Requirements	No Special Requirements
Future Considerations	No Special Requirements
Systems	
Mechanical	Dryer to vent to exterior of building. See General Facility Data. Verify
	loads of Group II equipment.
Plumbing	(2) Commercial washers
	Sink <u>(verify)</u>
Lighting	See General Facility Data
Power	See General Facility Data. Verify loads of Group II equipment.

Communications	
Data	No Requirements
Telecom	No Requirements
Video	No Requirements
Acoustics	See General Facility Data
Room Contents	
Group I	
Built-ins	See Storage and Special Requirements.
	See Room Diagram
Group II & III	
Movable-Equip.	(2 each) Commercial washers and dryers
Furnishings	No Requirements





### LAUNDRY ROOM 72 ASF ADJACENCIES: KITCHEN, JANITOR'S ROOM

Figure 6.2.18-1: Child Development Center Laundry Room Diagram

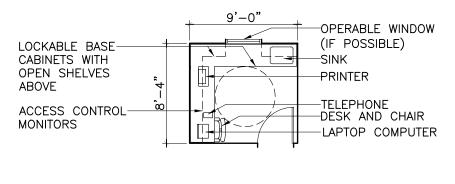
UCR WEST CAMPUS FAMILY STUDENT HOUSING DETAILED PROJECT PROGRAM

R. L. BINDER, FAIA ARCHITECTURE & PLANNING

# 6.2.19 Maintenance / Access Control Office Child Development Center

Description	Maintenance: Office / Repair, Access Control
Quantity	One
ASF	75
Number of	Full Time: 1
Occupants (staff,	Part time:
parents, volunteers)	
Number of	Full Time:
Occupants (students)	Part time:
Adjacency Requirements	Kitchen and electrical / mechanical / IT closets.
Activities	Storage and repair shop, Access Control
Days of use	Weekdays: Monday – Friday
Hours of use	7 am – 6 p.m. Minimum: 8', Preferred: 10'
Ceiling Height	Minimum: 8', Preferred: 10'
Finishes	
Floor	Vinyl; Flooring
Base	4" Resilient Cove Base
Walls	Washable Painted Gypsum Board
Ceiling	Washable Painted Gypsum Board I
Line of Sight	
Doors	See General Facility Data
Windows	If possible (operable). See General Facility Data
Storage	Lockable base cabinet with open shelves above.
Signage	See General Facility Data
Security	Card access. (See General Facility Data)
Special Requirements	No Special Requirements
Future Considerations	No Special Requirements
Systems	
Mechanical	Air-conditioning (heating & cooling), exhaust fan. (See General Facility Data)
Plumbing	Sink
Lighting	See General Facility Data
Power	(3) 20 amp breakers, (1) 30 amp breaker receptacles.

Communications	
Data	Yes
Telecom	Yes
Video	See security requirements
Acoustics	See General Facility Data
Room Contents	
Group I	
Built-ins	See Storage and Special Requirements.
Group II & III	
Movable-Equip.	Laptop computer, printer
Furnishings	Office chair, desk. See Room Diagram





# MAINTENANCE / ACCESS CONTROL OFFICE

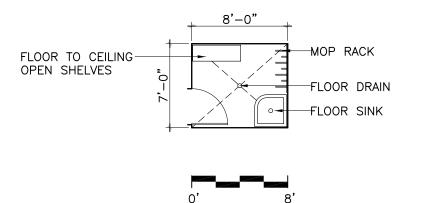
75 ASF ADJACENCIES: KITCHEN/WET WALL AND ELECTRICAL/MECHANICAL/IT CLOSETS

Figure 6.2.19-1: Child Development Center Maintenance / Access Control Office Room Diagram

### 6.2.20 Janitorial Closet Child Development Center

Description	Staging and storage of janitorial equipment and supplies
Quantity	One
ASF	56 (GSF)
Number of	Full Time: N/A
Occupants (staff,	Part time: 1
parents, volunteers)	
Number of	Full Time: N/A
Occupants (students)	Part time: N/A
Adjacency Requirements	Trash and kitchen.
Activities	Storage of janitorial equipment and supplies.
Days of use	Weekdays: Monday – Friday
Hours of use	7 am – 6 p.m. Minimum: 8', Preferred: 10'
Ceiling Height	Minimum: 8', Preferred: 10'
Finishes	
Floor	Sealed Concrete
Base	4" Resilient Cove Base
Walls	Washable Painted Gypsum Board
Ceiling	Washable Painted Gypsum Board I
Line of Sight	
Doors	See General Facility Data
Windows	No Special Requirements
Storage	Open shelves (floor to ceiling) for storage of supplies (towels, toilet
	paper, trash bags, cleaning chemicals, etc.) racks to hang mops,
	brooms, etc., space for vacuum and buckets.
Signage	See General Facility Data
Security	Card access. See General Facility Data
Special Requirements	No Special Requirements
Future Considerations	No Special Requirements
Systems	
Mechanical	See General Facility Data
Plumbing	Floor sink, floor drain
Lighting	See General Facility Data
Power	See General Facility Data

Communications	
Data	No Requirements
Telecom	No Requirements
Video	No Requirements
Acoustics	See General Facility Data
Room Contents	
Group I	
Built-ins	Storage, shelving, mop rack
	See Room Diagram
Group II & III	
Movable-Equip.	No Requirements
Furnishings	No Requirements



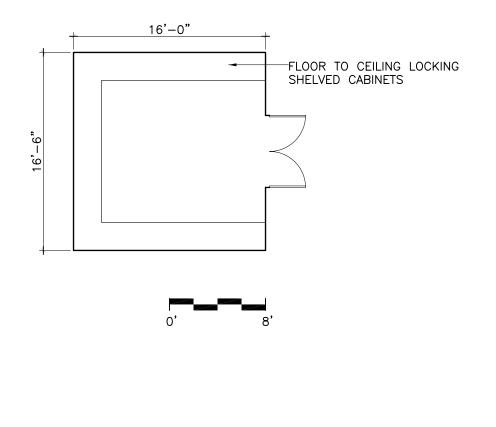
### JANITORIAL CLOSET 56 SF – INCLUDED IN BUILDING GSF ADJACENCIES: TRASH/KITCHEN/WET WALL

Figure 6.2.20-1: Child Development Center Janitorial Closet Room Diagram

# 6.2.21 Facility Storage Room Child Development Center

Description	Storage Room
Quantity	One
ASF	265
Number of	Full Time: 6
Occupants (staff,	Part time: 5
parents, volunteers)	
Number of	Full Time: N/A
Occupants (students)	Part time: N/A
Adjacency Requirements	Play ground.
Activities	Storage
Days of use	Weekdays: Monday – Friday
Hours of use	7 am – 6 p.m.
Ceiling Height	Min. 10ft. Pref. 12ft.
Finishes	
Floor	Concrete
Base	4" Resilient Cove Base
Walls	Painted Gypsum Board
Ceiling	Painted Gypsum Board
Line of Sight	No Special Requirements
Doors	Double doors, lockable
Windows	No Requirements
Storage	Full height lockable cabinets with adjustable shelving
Signage	See General Facility Data
Security	Card access door lock. See General Facility Data
Special Requirements	Flat easy access. No stairs. Concrete path to storage.
Future Considerations	No Special Requirements
Systems	
Mechanical	Ventilation: Exhaust Fan and Operable Windows, if any
Plumbing	No Requirements
Lighting	See General Facility Data
Power	Provide min. (2) 120-Volt receptacles. See General Facility Data

Communications	
Data	No Requirements
Telecom	Telephone / Intercom
Video	See security requirements
Acoustics	No Special Requirements
Room Contents	
Group I	
Built-ins	Floor to ceiling locking cabinets on all available wall space.
Group II & III	
Movable-Equip.	No Requirements
Furnishings	No Requirements



### FACILITY STORAGE ROOM 265 ASF – INCLUDED IN BUILDING GSF ADJACENCIES: PLAYGROUND

Figure 6.2.21-1: Child Development Center Facility Storage Room Diagram

# 6.2.22 Play Ground & Covered Play Area Child Development Center

Description	Outdoor play area with areas of shade structure
Quantity	Four (one for each age group)
ASF	75 s. f. per child
Number of	Full Time: N/A
Occupants (staff,	Part time: 30
parents, volunteers)	
Number of	Full Time: N/A
Occupants (students)	Part time: 12-72 See General Facility Data
Adjacency Requirements	Classrooms, restrooms, trash receptacles and play yards for other
	classrooms/age groups
Activities	Large group and gross motor activities, science and art curriculums,
	reading, eating, water play, gardening, general outdoor play.
Days of use	Weekdays: Monday – Friday
Hours of use	7 am – 6 p.m.
Ceiling Height	N/A
Finishes	
Floor	Sand, grass, rubber, concrete
Base	N/A
Walls	N/A
Ceiling	N/A
Line of Sight	General supervision blind spots should be avoided. Sinks, patio area, climbing structures, etc. should be located so staff does not have back to the yard.
Doors	Possible garage door walls in classrooms to provide maximum access between indoors and out, alternately double doors.
Windows	N/A
Storage	Locked storage for outdoor curriculum materials.
	Large building block storage.
	Storage for large, wheeled toys.
	Bike storage.
	Secure place for children's personal care items (Kleenex, wipes, etc.) and First Aid.
	Storage for change of child's shoes and socks.
	Storage of artwork.
0	Earthquake kits.
Signage	See General Facility Data.
Security	Security fencing required at each area. All gates are to be card
	access controlled. See General Facility Data.

Special Requirements	Provide for hanging hammocks or fabrics, eating and other activities
	Area for drying and storage of artwork
	Bike path
	Plantings must be child-friendly
	Variety of levels, mounds, hills and sunken areas per accessible
	requirements.
	Transitional area from indoor to outdoor. (Overhang)
Future Considerations	No Special Requirements
Systems	
Mechanical	N/A
Plumbing	Child level drinking fountains
	Child level trough sinks with multiple faucets
	Hoses in garden and water play areas
	Adult level deep sink
	Outdoor restroom for each play yard if possible
Lighting	Area lights required. See General Facility Data
Power	Outdoor outlets with child proof covers
Communications	
Data	N/A
Telecom	PA by phone system
Video	See security requirements
Acoustics	N/A
Contents	
Group I	
Built-ins	Climbing structures and sandboxes (which can be covered). See
	Storage and Special Requirements
Group II & III	
Movable-Equip.	No Requirements
Furnishings	Picnic benches, tables, easels

### 6.2.23 Staff Restroom Child Development Center

Description	Unisex restroom for office staff
Quantity	One (or Two)
ASF	123 (or 2 @ 60 s. f.)
Number of	Full Time: N/A
Occupants	Part time: N/A
Adjacency Requirements	Lobby, offices Restrooms available for the use of Staff.
Activities	Restrooms available for the use of Staff.
Days of use	Weekdays: Monday – Friday
Hours of use	7 am – 6 p.m.
Ceiling Height	9' min.
Finishes	
Floor	Tile
Base	See General Facility Data
Walls	See General Facility Data
Ceiling	See General Facility Data
Sightlines	No Special Requirements
Doors	No Special Requirements
Windows	See General Facility Data
Storage	No Special Requirements
Signage	See General Facility Data
Security	Panic buttons
	See General Facility Data
Special Requirements	Accessibility
Future Considerations	No Special Requirements
Systems	
Mechanical	Provide exhaust typ.
Plumbing	Toilets, lavs and waterless urinals where provided
Lighting	See General Facility Data
Power	See General Facility Data
Communications	
Data	No Requirements
Telecom	No Requirements
Video	No Requirements

Acoustics	See General Facility Data
Room Contents	
Group I	
Built-ins	Provide typical toilet room accessories (recessed).
Group II + III	
Movable-Equip.	No Requirements
Furnishings	No Requirements

Plan per code.

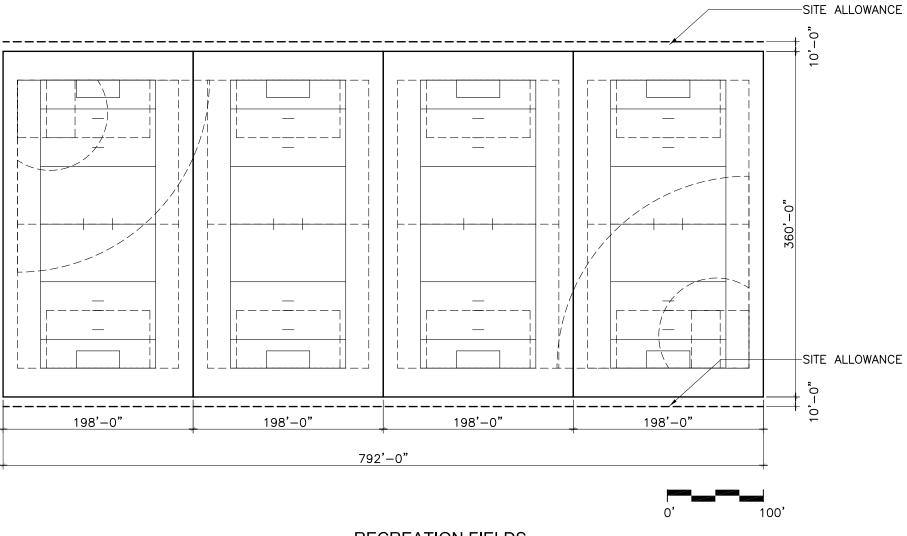
# 6.3 RECREATION FIELDS

### 6.3.1 Recreation Fields Recreation Fields

Description	Grass turf athletic fields for Soccer, Softball, & Flag Football
Quantity	(4) field areas (see attached field/configuration diagram)
ASF	120 yards X 264 yards.
Number of	Full Time:
Occupants	Part time:
Adjacency Requirements	Parking, Maintenance and Equipment storage
Activities	Intramural sports, Club sports, Summer camp
Days of use	Weekdays: M - F full day
	Weekends: Saturday full day - Sunday full day
Hours of use	7 am - 11 pm (program use 5 - 11 pm)
Relationship of Fields	See attached field / configuration diagram
Interface with Northwest and Southwest Mall landscape borders	Phase I access, landscape and parking buffer to the Northwest Mall. Landscape buffer and Phase II access to the Southwest Mall
Special Requirements	Field Composition:
	<ul> <li>A 6" sand base for drainage. The sand base should extend underneath the entire area, including buffer zones and spectator viewing areas (so drainage doesn't stop at field edges leaving water to settle in those areas).</li> <li>Provide "Bullseye" turf, selected from a choice of three (Bullseye, GN1 and Tiftway 2).</li> <li>Access control (fencing and card key gates), fields are for student use only.</li> <li>Provisions for portable PA and scoreboards system is required for all field areas.</li> <li>Field equipment and maintenance storage facility is required and planned in the housing maintenance building. See Section 6.4.4.</li> <li>Field accessible (UCR use only) toilet facilities located on parcel due west of fields in temporary facilities until Recreation Facility is completed.</li> </ul>
Line of Sight	Field orientation, security concerns and neighborhood environment /
Staraga	light pollution are to be addressed in design.
Storage	Field and maintenance equipment (6.4.4)

<u>Custoinability</u>	Field and landagene planting about the durable and draught and heat
Sustainability	Field and landscape planting should be durable and drought and heat resistant. All physical materials should be low life cycle cost
	·····
0	conscious. (See section 7.3)
Signage	Facility designation (West Campus Recreation Fields) and Field
	assignment signage required for facilitating the scheduling of
	programs. Otherwise, No Special Requirements.
Security	Access control is required in 6' chain link perimeter fence with
	lockable gates. All parking lot areas must conform to campus security
	lighting and call button / telephone standards. (see Special
	Requirements).
Access Requirements	See Security requirements. Field maintenance vehicle access is
-	required. (See Mall interface requirements.)
Plumbing	(3) Drinking fountains (at field access points), temporary field use
-	toilets
	Point of connection utilities only for temporary facilities and field and
	landscape irrigation. (See section 5 for requirements.)
Lighting	Field lighting, separate, secured manual controls for each field (see
5 * 5	attached field/configuration diagram and lighting criteria). See
	Security section.
Power	Provisions for portable PA and scoreboard systems are required for all
	field areas. Coordinate power with Lighting, Security, and Special
	Provisions sections.
Communication	(See Security section.) Public pay phones are not required.
Acoustics	No Special Requirements.
Group I	
Built-ins	See Security and Special Requirements sections.
Group II & III	
Movable-Equip.	Portable PA and scoreboard systems and field function related bases
	and goals. Verify equipment group 1 or 2
Furnishings	No Special Requirements.
Construction	Six inch sand base extended beneath entire field area, including
	buffer zones and spectator viewing areas.
Future Considerations	Southwest Mall and Phase II Family Student Housing development
	access and adjacency should be considered. Future Recreation
	Center Facility should be considered regarding parking, field and
	storage facility access / adjacency. Storage for the recreation fields
	may be included in the recreation center.
	may be included in the recreation center.

DPP November 2003



RECREATION FIELDS 120 YARDS X 264 YARDS ADJACENCIES: PARKING, MAINTENANCE, EQUIPMENT STORAGE

Figure 6.3.1-1: Recreation Fields Diagram

## 6.4 SHARED FACILITIES

This section comprises the overall planning criteria and requirements of:

- Neighborhood Parks (Section 6.4.1)
- Tot Lots (Section 6.4.2)
- Community Center (Section 6.4.3)
- Housing Maintenance Building (Section 6.4.4)

Several Shared Facilities that serve the community best when sited in multiple locations are included in the space program. These functions should be sited during the Schematic Design Phase in the Site Plan.

- Mail: Situated in boxes serviced by the United States Postal Service. Additional receptacles for intra-campus mail.
- Trash & Recycling Areas: Sited in convenient, accessible locations in Phase I.

### 6.4.1 Neighborhood Parks Shared Facilities

Description	Outdoor community-wide "play" area
Quantity	One
GSF	1,500 Structure
Number of	Full Time: N/A
Occupants (staff,	Part time: The Community
parents, volunteers)	,
Number of	Full Time: N/A
Occupants (students)	Part time: N/A
Adjacency Requirements	Centrally located within the Family Student Housing community
Activities	Group gathering, reading, eating, water play, gardening, general outdoor play.
Days of use	7 days a week
Hours of use	5-Midnight
Ceiling Height	N/A
Finishes	
Floor	Sand, grass, rubber, concrete
Base	Ceramic Tile (Restrooms)
Walls	Ceramic Tile (Restrooms)
Ceiling	Acoustic (Restrooms)
Line of Sight	No Special Requirements
Doors	Solid Core
Windows	Operable, Glass Block as applicable
Storage	Janitorial supplies
Signage	Entry identification, way finding, and accessibility signage should be
	provided.
Security	Lockable facilities, video surveillance
Special Requirements	Provide for shaded picnic areas
	Bike parking
Future Considerations	No Special Requirements

0	
Systems	
Mechanical	N/A
Plumbing	Drinking fountains
-	Water play areas (as possible)
	Public toilets
	Water to vending
Lighting	Area lights required
Power	Exterior receptacles at restrooms
Communications	
Data	N/A
Telecom	N/A
Video	See security requirements
Acoustics	N/A
Contents	
Group I	
Built-ins	Climbing structures and sandboxes (which can be covered). See
	Storage and Special Requirements
Group II & III	<b>~</b> · · ·
Movable-Equip.	Vending machines
Furnishings	Picnic benches, tables

### 6.4.2 Tot Lots Shared Facilities

Description	Outdoor play area for young children.
Quantity	One per housing parcel
ASF	N/A
Number of	Full Time: N/A
Occupants (staff,	Part time: N/A
parents, volunteers)	
Number of	Full Time: N/A
Occupants (students)	Part time: N/A
Adjacency Requirements	Family student housing parcels
Activities	General outdoor play and eating.
Days of use	7 days a week
Hours of use	Daylight hours
Ceiling Height	N/A
Finishes	
Floor	Sand, grass, rubber, concrete
Base	N/A
Walls	Fencing
Ceiling	N/A
Line of Sight	General supervision blind spots should be avoided. Climbing structures,
	etc. should be located so benches face the yard.
Doors	Lockable gates
Windows	N/A
Storage	N/A
Signage	Entry identification, way finding, accessibility and exiting signage should
	be provided.
Security	Security fencing and video surveillance required at each area.
Special Requirements	Plantings must be child-friendly
	Variety of levels, mounds, hills and sunken areas per accessible
	requirements.
Future Considerations	No Special Requirements

Systems	
Mechanical	N/A
Plumbing	Child level drinking fountains
Ū	Water play areas (To Be Determined)
Lighting	Area lights required. See General Facility Data
Power	No Special Requirements
Communications	
Data	N/A
Telecom	N/A
Video	See security requirements
Acoustics	N/A
Contents	
Group I	
Built-ins	Climbing structures, sandboxes, and swings (which may be shaded).
	See Storage.
Group II & III	-
Movable-Equip.	No Requirements
Furnishings	Benches

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# 6.4.3

General Facility Shared Facilities: Community Center

Description	General Community Facility Requirements
Quantity	One
GSF	6.400
Number of	Full Time:
Occupants	Part time: 86
Adjacency Requirements	Northwest Mall or Iowa, Child Development Center, Neighborhood Parks and Family Student Housing. Vehicle access from CDC should accommodate a loading/waiting area and bicycle parking.
Activities	Office: Move-in/move-out, work orders, parking permits, room reservations, counseling, equipment check-out, poster making, meetings; Community: Meetings, conferences, socializing, dinner, parties, after school programs, library, computer lab
Days of use	7 days a week
Hours of use	Community spaces to be accessible separate from office spaces.
Ceiling Height	Ample space, openness in the interior, bright
Finishes	
Floor	Floor covering should offer both quiet carpeted areas and hard surfaces for ease of cleanup. Carpeting should be antibacterial. Carpet tiles are recommended to facilitate ease of replace as needed.
Base	4" Resilient Cove Base, Typ. Ceramic Tile, cove at tile floor areas
Walls	All wall surfaces should be durable and washable particularly the lower half.
Ceiling	All ceiling surfaces should durable, washable at wet and service function areas, and provide as much acoustic control as possible.
Sightlines	See individual room data sheets
Doors	Rear access and double entry doors
Windows	All windows should have safety glazing. Provide dual glazing at all areas where thermal and acoustic control is required. All east, south and west exposures should be provided with passive solar shading devises. Frames should be durable and low maintenance. Prefer sliding, casements are problematic. Not recessed.

Storage	Storage room, cabinets, lockable shelves, storage cabinet near copy
	machine for paper, filing cabinets, separate closets for office supplies
	cleaning supplies and check out equipment, indoor and outdoor storage
	areas, large storage area required for programming, supplies, tables and
	chairs
Signage	Building and entry identification, way finding, accessibility and exiting
	signage should be provided. Parking entry / drop-off, accessibility and
	control signage should also be provided.
Security	The facility security system must interface with the Campus Housing
	Operations security control and monitoring system. The campus has
	provided the following as a basis for programming:
	<ul> <li>Lenel software &amp; hardware components are the primary operations</li> </ul>
	platform for all access control including locks, cameras, DVR's, &
	alarms.
	<ul> <li>IDH Max prox readers by BEST ACCESS SYSTEMS, hard wired.</li> </ul>
	Mullion mounted prox readers on storefront applications Lene
	LPMM-6800.
	Electrified VonDuprin hardware 33 series.
	<ul> <li>Detex brand removable mullion for lobby doors, heavy-duty mode #F90KR.</li> </ul>
	<ul> <li>Lenel card reader at lobby and all card reader locations.</li> </ul>
	<ul> <li>Lenel card readers with door position switches on all gates in play</li> </ul>
	area.
	• Cameras are to be Pelco pan, tilt, zoom (PTZ's) at lobby
	Reception area, and at all exterior locations including parking lots.
	<ul> <li>Central viewing station preferably at the lobby desk. A 2nd a</li> </ul>
	Access Control Room.
	<ul> <li>DVR's (Digital Video Recorders) are to be Pelco DX 7000 series</li> </ul>
	w/PTZ function
	<ul> <li>Software to include Pelco motion detection sensor</li> </ul>
	<ul> <li>Fixed cameras (if any) are to have "vara-focal" wide angle lenses</li> </ul>
	Priority 1 wish list:
	<ul> <li>Infant Child Tag system, locks all doors when unauthorized exit is</li> </ul>
	attempted
	<ul> <li>Facial Recognition system to prevent wrongful removal of children</li> </ul>
	<ul> <li>Remote/hardwired panic buttons throughout building for Police notification</li> </ul>

Special Requirements	Separate restrooms in lobby area, resident access is through lobby area, pay phone, soda/water machine, drinking fountain in lobby, house phone for residents to make local calls, covered patio for congregating and eating.
Future Considerations	Space for expansion, staff, technology upgrades, wireless office
Systems	
Mechanical	Air conditioning (with separate controls), exhaust fan, separate air conditioned zones, ceiling fans
Plumbing	Men's and Women's restrooms: Automatic flush toilets, one children's level toilet and sink; waterless urinals Staff lounge: Sink, garbage disposal, dishwasher; Lobby: Drinking fountain
Lighting	Exterior: Flood and patio lights; Interior: Overhead dimmable fluorescent lights, nooks with task lighting, recessed lighting, light sensors
Power	Outlets to be four-plex, plug covers and child proof inserts, provisions for 6 computers with printers, emergency power generator, outlets on every wall for data, phone, fax, intercom system throughout building, door chime
Communications	
Data	See individual room data sheets.
Telecom	Pay phone located near restrooms, connection to campus police system
Video	CATV or Satellite, See security requirements
Acoustics	All design elements should provide for sound attenuation especially in the offices and administrative spaces for privacy.
Room Contents	***************************************
Group I	
Built-ins	See individual room data sheets.
Group II + III	
Movable-Equip.	See individual room data sheets.
Furnishings	See individual room data sheets.

DPP November 2003

OUTDOORS

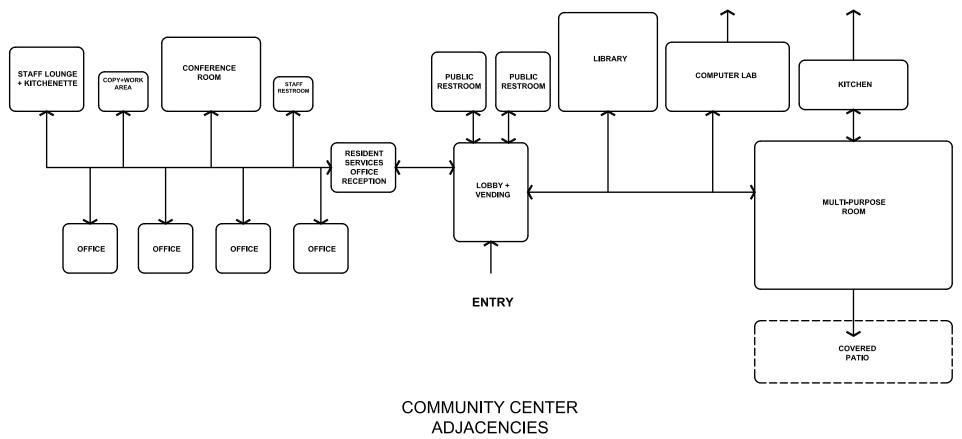
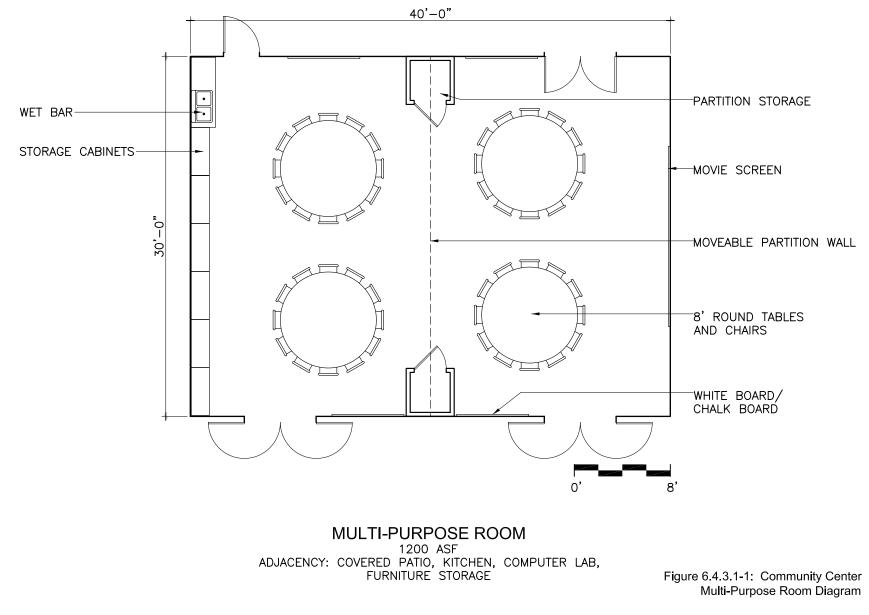


Figure 6.4.3-1: Community Center Community Center Adjacency Diagram

# 6.4.3.1 Multi-Purpose Room Shared Facilities: Community Center

Description	Community activitics
Quantity	Community activities One
ASF	1.200
Number of	Full Time:
	Part time: 80
Occupants	
Adjacency Requirements	Covered Patio, Kitchen, Computer Lab, Furniture Storage
Activities	Meetings, conferences, socializing, dinner, parties, after school
Days of use	programs 7 days a week
Hours of use	8 am - 10 pm Sunday - Thursday
Hours of use	8 am - 12 am Friday and Saturday
Ceiling Height	8'-9'
Finishes	0-3
Floor	Cornet with vinul fleering at convice areas
Base	Carpet with vinyl flooring at service areas See General Facility Data
Walls	
Ceiling	See General Facility Data See General Facility Data
Sightlines	Column free space
Doors	
Doors	Provide Movable partitions, accommodating two equal occupancy rooms and double doors to facilitate furniture movement.
Windows	
	See General Facility Data
Storage	See storage room data
Signage	See General Facility Data
Security	Card access. See General Facility Data
Special Requirements	Patio with barbecue area, common area wall with white boards and chalk boards
Future Considerations	Room may accommodate extended day care program
Systems	
Mechanical	Separate air conditioned zone, ceiling fans
Plumbing	Wet bar
Lighting	Overhead dimmable fluorescent lights
Power	See General Facility Data

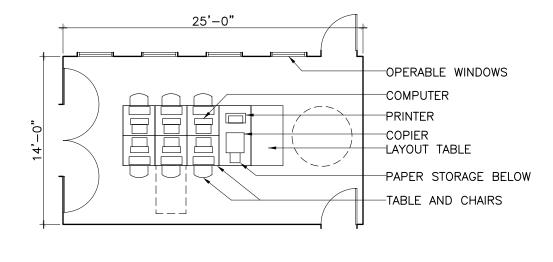
Communications	
Data	Internet access with 3 data ports per wall in the main area and several on the floor
Telecom	Campus phone, jacks at wall
Video	CATV or Satellite
Acoustics	Noise control, built in sound system with indoor and outdoor speakers
Room Contents	
Group I	
Built-ins	storage cabinets, counter
Group II + III	-
Movable-Equip.	No Requirements
Furnishings	Tables (8' rounds) and chairs



# 6.4.3.2 Computer Lab Shared Facilities: Community Center

Description	
Description	Community Computer Lab
Quantity	One
ASF	350
Number of	6 Stations
Occupants	
Adjacency Requirements	Outdoor entrance, Library, Multi-Purpose Room
Activities	Email, internet, studying, printing
Days of use	7 days a week
Hours of use	8 am – 10 pm Sunday – Thursday
	8 am – 12 am Friday and Saturday
Ceiling Height	9' min.
Finishes	
Floor	Carpet (anti-static)
Base	See General Facility Data
Walls	See General Facility Data
Ceiling	See General Facility Data
Sightlines	No Special Requirements
Doors	Double doors to facilitate equipment movement
Windows	Design to minimize glare at equipment screens
Storage	Provide for paper and miscellaneous supplies
Signage	See General Facility data
Security	Card access, security camera
Special Requirements	Windows and lighting should provide non-glare working environment.
Future Considerations	No Special Requirements
Systems	
Mechanical	Air Conditioning adequate for machine load, well ventilated
	(requirement of copy machine), zoned
Plumbing	No Requirements
Lighting	Overhead dimmable fluorescent lights
Power	4-5 outlets per wall, plug covers, provisions for 16 computers, printer, copier

Communications	
Data	Campus data standards to accommodate equipment.
Telecom	No Requirements
Video	Provide CATV outlet.
Acoustics	See General Facility Data
Room Contents	
Group I	
Built-ins	Provide copier / printer and layout counter tops with storage below.
Group II + III	
Movable-Equip.	6 Computers, printer, copier
Furnishings	6 Computer work stations.





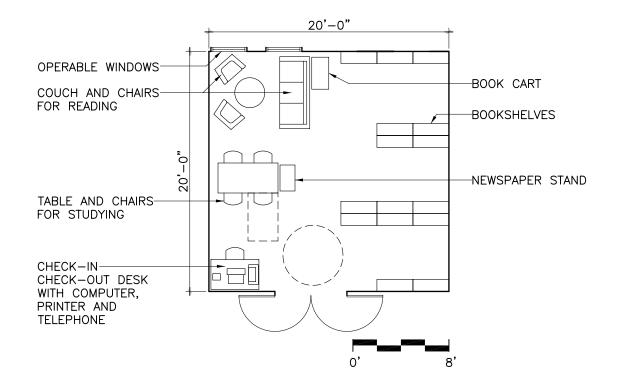
### COMPUTER LAB 350 ASF ADJACENCY: OUTDOOR ACCESS, LIBRARY, MULTI-PURPOSE ROOM

Figure 6.4.3.2-1: Community Center Computer Lab Room Diagram

# 6.4.3.3 Library Shared Facilities: Community Center

<b>D</b>	
Description	Community Library for reading and studying
Quantity	One
ASF	400
Number of	Full Time:
Occupants	Part time: 20
Adjacency Requirements	Computer Lab
Activities	Internet research, reading, studying
Days of use	7 days a week
Hours of use	8 am – 10 pm Sunday - Thursday
	8 am – 12 am Friday and Saturday
Ceiling Height	9' min.
Finishes	
Floor	Carpet (anti-static)
Base	See General Facility Data
Walls	See General Facility Data
Ceiling	See General Facility Data
Sightlines	Maintain observation sightlines of facility from check-in desk.
Doors	Double doors to facilitate movement of furniture and equipment.
Windows	See General Facility data
Storage	Book shelves, newspaper stand, etc.
_	See Room Diagram
Signage	See General Facility Data
Security	See General Facility Data
Special Requirements	No Special Requirements
Future Considerations	No Special Requirements
Systems	
Mechanical	See General Facility Data
Plumbing	No Special Requirements
Lighting	Overhead dimmable fluorescent lights, nooks with task lighting. See
	General Facility Data
Power	See General Facility Data
Communications	
Data	Data port at check-in desk
Telecom	Telecom / PA at check-in desk
Video	No Requirements

Acoustics	Noise control, built in sound system
Room Contents	
Group I	
Built-ins	No Requirements
Group II + III	
Movable-Equip.	Computer, printer
Furnishings	Check-in check-out desk with computer, printer and telephone; bookshelves, couches or chairs for reading, tables and chairs for studying, book cart, newspaper stand



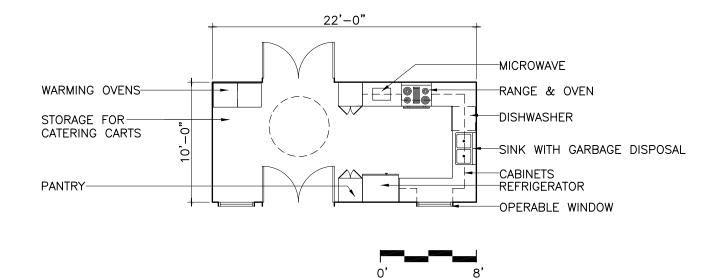
LIBRARY 400 ASF ADJACENCY: COMPUTER LAB

Figure 6.4.3.3-1: Community Center Library Room Diagram

### 6.4.3.4 Kitchen Shared Facilities: Community Center

<b>S</b>	
Description	Community / Catering Kitchen
Quantity	One
ASF	220
Number of	Full Time:
Occupants	Part time: 6
Adjacency Requirements	Outdoor loading access, Multi-Purpose Room
Activities	Cooking / catering for community events for and by the residents.
Days of use	7 days a week
Hours of use	8 am – 10 pm Sunday - Thursday
	8 am – 12 am Friday and Saturday
Ceiling Height	9' min.
Finishes	
Floor	Vinyl Flooring
Base	See General Facility Data
Walls	See General Facility Data
Ceiling	See General Facility Data
Sightlines	No Special Requirements
Doors	Double doors to accommodate loading and catering carts
Windows	No Special Requirements
Storage	Cabinets for kitchen supplies and equipment
Signage	See General Facility Data
Security	See General Facility Data
Special Requirements	No Special Requirements
Future Considerations	No Requirements
Systems	
Mechanical	Separate zone, hood exhaust
	See general Facility Data
Plumbing	Sink, garbage disposal, dishwasher
Lighting	Overhead lights
	See General Facility Data
Power	Ample counter height outlets for kitchen equipment
Communications	
Data	No Requirements
Telecom	Telecom / PA outlet
Video	No Requirements

Acoustics	No Special Requirements
Room Contents Group I	
Built-ins	Base and wall cabinets, pantry See Room Diagram
Group II + III Movable-Equip. Furnishings	Refrigerator, microwave, stove, oven, warming ovens, catering carts



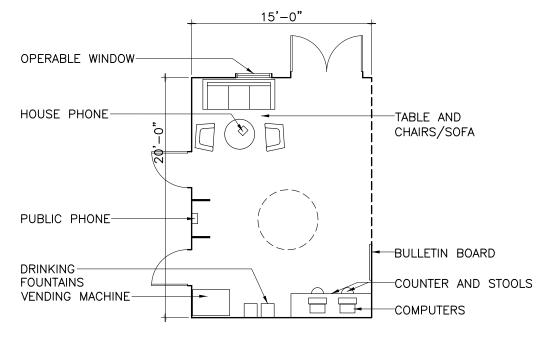
#### KITCHEN 220 ASF ADJACENCY: OUTDOOR LOADING, MULTI-PURPOSE ROOM

Figure 6.4.3.4-1: Community Center Kitchen Room Diagram

## 6.4.3.5 Lobby & Vending Shared Facilities: Community Center

Description	
Description	Lobby area with vending machines for Housing Office and Community Building
Quantity	One
ASF	300
Number of	Suo Full Time:
Occupants	Part time:
Adjacency Requirements	Access to Grade, Restrooms, Reception
Activities	
Days of use	7 days a week
Hours of use	8 am – 10 pm Sunday - Thursday
	8 am – 12 am Friday and Saturday
Ceiling Height	8'
Finishes	
Floor	Vinyl Flooring
Base	See General Facility Data
Walls	See General Facility Data
Ceiling	See General Facility Data
Sightlines	No Special Requirements
Doors	Double entry door
Windows	See General Facility Data
Storage	No Requirements
Signage	See General Facility Data
Security	Surveillance cameras, alarmed doors, card access
-	See General Facility Data
Special Requirements	Easy access (no stairs), ramp, automatic door, access to men's and
	women's restrooms, pay phone, soda/water vending machine,
	drinking fountain, house phone for residents to make local calls
Future Considerations	No Special Requirements
Systems	
Mechanical	Air conditioning zone
Plumbing	Drinking fountain
Lighting	See General Facility Data
Power	See General Facility Data

Communications	
Data	Data ports for computer stations.
	See Room Diagram
Telecom	Telecom / PA
	See Special Requirements Section
Video	See security requirements
Acoustics	See General Facility Data
Room Contents Group I	
Built-ins	No Requirements
Group II + III	,
Movable-Equip.	Computer work stations / stools
Furnishings	Bulletin board, tables and chairs





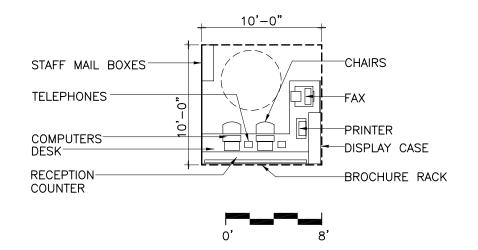
LOBBY & VENDING 300 ASF ADJACENCY: ACCESS TO GRADE, PUBLIC RESTROOMS, RECEPTION

Figure 6.4.3.5-1: Community Center Lobby & Vending Room Diagram

## 6.4.3.6 Resident Services Office Reception Shared Facilities: Community Center

Description	Reception for Housing Office and Community Building
Quantity	One
ASF	100
Number of	Full Time: 2
Occupants	Part time:
Adjacency Requirements	Lobby, Resident Services Offices, Copy + Work Area, Staff Lounge,
	Conference Room, Staff Restroom
Activities	Move-in/Move-out, Work Orders, Parking Permits, Room
	Reservations, Counseling, Equipment Check-out
Days of use	Weekdays: 5
Hours of use	8 am – 5 pm
Ceiling Height	8' min.
Finishes	
Floor	Carpet (anti-static)
Base	See General Facility Data
Walls	See General Facility Data
Ceiling	See General Facility Data
Sightlines	Maintain visual supervision of lobby
Doors	No Special Requirements
Windows	No Special Requirements
Storage	No Special Requirements
Signage	See General Facility Data Panic buttons, surveillance cameras, alarmed doors, card access
Security	Panic buttons, surveillance cameras, alarmed doors, card access
-	See General Facility Data
Special Requirements	No clear access to staff areas by community residents, specific area
	to place fax machine
Future Considerations	No Special Requirements
Systems	
Mechanical	See General Facility Data
Plumbing	No Requirements
Lighting	See General Facility Data
Power	See General Facility Data

Communications	
Data	Data ports at reception counter
Telecom	Telecom / PA
Video	See security requirements
Acoustics	See General Facility Data
Room Contents	
Group I	
Built-ins	Display case and brochure rack, staff mail boxes, counter
Group II + III	
Movable-Equip.	Fax, computers, phones, printer
Furnishings	Chairs



#### RESIDENT SERVICES OFFICE RECEPTION 100 ASF ADJACENCY: LOBBY+VENDING, RESIDENT SERVICES OFFICES, COPY+WORK AREA, STAFF Figure 6.4.3.6-1: Community Center LOUNGE, CONFERENCE ROOM, STAFF RESTROOM Resident Services Office Reception Room Diagram

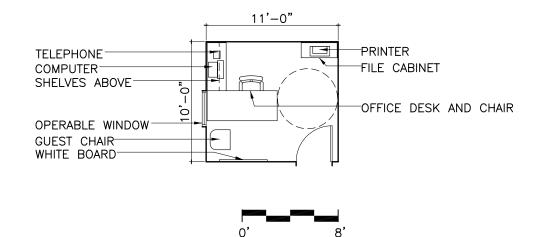
UCR WEST CAMPUS FAMILY STUDENT HOUSING DETAILED PROJECT PROGRAM

R. L. BINDER, FAIA ARCHITECTURE & PLANNING

## 6.4.3.7 Resident Services Offices (4) Shared Facilities: Community Center

Description	Offices for Family Student Housing Services
Quantity	Four
ASF	110 each
Number of	Full Time: 1 each
Occupants	Part time:
Adjacency Requirements	Staff Lounge + Kitchenette, Copy + Work Area
Activities	Move-in/Move-out, Work Orders, Parking Permits, Room
	Reservations, Counseling, Equipment Check-out, Poster Making, Meetings
Days of use	Weekdays: 5
Hours of use	8 am – 5pm
Ceiling Height	8'
Finishes	
Floor	Carpet (anti-static)
Base	See General Facility Data
Walls	See General Facility Data
Ceiling	See General Facility Data
Sightlines	No Special Requirements
Doors	No Special Requirements
Windows	See General Facility Data
Storage	Cabinets, filing cabinets
Signage	See General Facility Data
Security	Panic buttons, card access
-	See General Facility Data
Special Requirements	Preferred room configuration is square
Future Considerations	No Special Requirements
Systems	***************************************
Mechanical	Air conditioning zone
Plumbing	No Special Requirements
Lighting	See General Facility Data
Power	See General Facility Data

Communications	
Data	Data ports (2 locations)
Telecom	Telecom / PA
Video	No Requirements
Acoustics	Provide acoustic privacy
Room Contents	
Group I	
Built-ins	No Requirements
Group II + III	
Movable-Equip.	White boards, computer, telephone, one printer per office
Furnishings	System Furniture



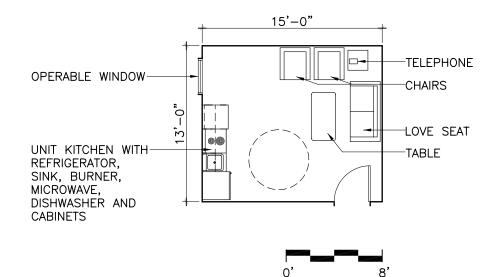
### RESIDENT SERVICES OFFICES (4) 110 ASF EACH ADJACENCY: STAFF LOUNGE, COPY+WORK AREA

Figure 6.4.3.7-1: Community Center Resident Services Offices Room Diagram

## 6.4.3.8 Staff Lounge & Kitchenette Shared Facilities: Community Center

Description	Staff Lounge and Break Room with Kitchenette
Quantity	One
ASF	195
Number of	Full Time:
Occupants	Part time: 6
Adjacency Requirements	Offices
Activities	Staff's lunch and break area, including food preparation.
Days of use	Weekdays: 5
Hours of use	
Ceiling Height	8 am – 5 pm 8' min.
Finishes	O [[]]].
Finisnes Floor	Correct
Base	Carpet
Walls	See General Facility Data See General Facility Data
Ceiling	See General Facility Data
Sightlines	No Special Requirements
Doors	
Windows	No Special Requirements
Storage	See General Facility Data Cabinets above / below countertops
Signage	See General Facility Data
Security	Panic buttons, card access
Creatial Descriptions and	See General Facility Data
Special Requirements	Unit Kitchen
Future Considerations	No Special Requirements
Systems	A. 1971 1
Mechanical	Air conditioning zone
Plumbing	As required for unit kitchen
Lighting	See General Facility Data
Power	See General Facility Data
Communications	(2) data parta
Data	(2) data ports
Telecom	Telecom / PA CATV
Video	
Acoustics	See General Facility Data

Room Contents Group I	
Built-ins	No Requirements
Group II + III	
Movable-Equip.	Unit Kitchen with refrigerator, sink, burner, microwave, dishwasher and cabinets
Furnishings	Couch, table, chairs, telephone See Room Diagram



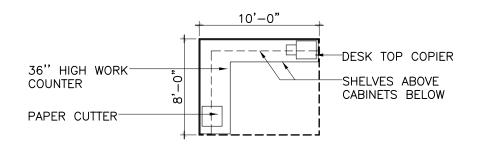
### STAFF LOUNGE & KITCHENETTE 195 ASF ADJACENCY: RESIDENT SERVICES OFFICES

Figure 6.4.3.8-1: Community Center Staff Lounge & Kitchenette Room Diagram

## 6.4.3.9 Copy/Work Area Shared Facilities: Community Center

Description	Dedicated space for copy machine, paper storage, poster making and
	other production oriented work
Quantity	One
ASF	80
Number of	Full Time:
Occupants	Part time: 6
Adjacency Requirements	Offices, reception
Activities	Copying, Poster Making, Document organization and other production
	oriented activities
Days of use	Weekdays: 5
Hours of use	8 am – 5 pm
Ceiling Height	8' min.
Finishes	
Floor	Carpet (anti-static)
Base	See General Facility Data
Walls	See General Facility Data
Ceiling	See General Facility Data
Sightlines	No Special Requirements
Doors	No Special Requirements
Windows	See General Facility Data
Storage	Shelves for production materials, storage cabinet near copy machine
-	for paper
Signage	See General Facility Data
Security	See General Facility Data
Special Requirements	No Special Requirements
Future Considerations	No Special Requirements
Systems	
Mechanical	Air conditioning zone, well ventilated (requirement of copy machine)
	See General Facility Data
Plumbing	No Requirements
Lighting	See General Facility Data
Power	Data, phone, fax, intercom system
	110 volt outlet, 30 Amp for one copy machine.

Communications	
Data	(1) Data Port
Telecom	Telecom / PA
Video	No Requirements
Acoustics	See General Facility Data
Room Contents	
Group I	
Built-ins	Counter with shelves above and cabinets below
Group II + III	
Movable-Equip. Furnishings	Desk top copy machine, paper cutter No Requirements
i urnisinings	





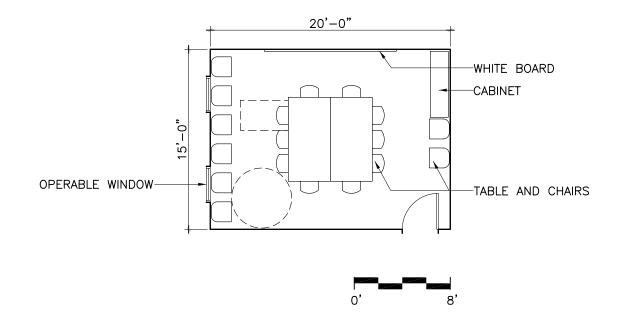
#### COPY / WORK AREA 80 ASF ADJACENCY: RESIDENT SERVICES OFFICES, RECEPTION

Figure 6.4.3.9-1: Community Center Copy / Work Area Diagram

## 6.4.3.10 Conference Room Shared Facilities: Community Center

Description	
Description	Conference room
Quantity	One
ASF	300
Number of	Full Time:
Occupants	Part time: 20 max. at any one time
Adjacency Requirements	Offices
Activities	Counseling, Meetings
Days of use	Weekdays: 5
Hours of use	8 am – 5 pm
Ceiling Height	9' min. 11' pref.
Finishes	
Floor	Carpet
Base	See General Facility Data
Walls	See General Facility Data
Ceiling	See General Facility Data
Sightlines	No Special Requirements
Doors	No Special Requirements
Windows	See General Facility Data
Storage	Cabinets
Signage	See General Facility Data
Security	Panic buttons, card access
-	See General Facility Data
Special Requirements	No Special Requirements
Future Considerations	No Special Requirements
Systems	
Mechanical	Air conditioning zone
Plumbing	No Requirements
Lighting	See General Facility Data
Power	See General Facility Data
Communications	
Data	(4) Data Ports
Telecom	Télecom / PA
Video	See General Facility Data
Acoustics	See General Facility Data

Room Contents Group I Built-ins	Cabinet	
Group II + III	Odbillet	
Movable-Eo Furnishings		
Furnishings		



### CONFERENCE ROOM 300 ASF ADJACENCY: RESIDENT SERVICES OFFICES

Figure 6.4.3.10-1: Community Center Conference Room Diagram

### 6.4.3.11 Staff Restroom Shared Facilities: Community Center

Description	Unisex restroom for office staff
Quantity	One
ASF	Included in building GSF
Number of	Full Time: N/A
Occupants	Part time: N/A
Adjacency Requirements	Lobby, offices
Activities	Restrooms available for the use of Staff.
Days of use	7 days a week
Hours of use	Staff restroom available during office hours.
Ceiling Height	9' min.
Finishes	
Floor	Tile
Base	See General Facility Data
Walls	See General Facility Data
Ceiling	See General Facility Data
Sightlines	No Special Requirements
Doors	No Special Requirements
Windows	See General Facility Data
Storage	No Special Requirements
Signage	See General Facility Data
Security	Panic buttons
	See General Facility Data
Special Requirements	Accessibility
Future Considerations	No Special Requirements
Systems	
Mechanical	Provide exhaust typ.
Plumbing	Toilets, lavs and waterless urinals where provided
Lighting	See General Facility Data
Power	See General Facility Data
Communications	
Data	No Requirements
Telecom	No Requirements
Video	No Requirements
Acoustics	See General Facility Data

Room Contents Group I	
Built-ins Group II + III	Provide typical toilet room accessories (recessed).
Movable-Equip. Furnishings	No Requirements No Requirements

# 6.4.3.12 Storage Room Shared Facilities: Community Center

Description	Storage room for moveable furniture and supplies.	
Quantity	One room, 3 closets and interior and exterior storage areas	
ASF	Closets and exterior included in building GSF	
Number of	Full Time:	
Occupants	Part time:	
Adjacency Requirements	Offices, Kitchen and Multi-Purpose Room	
Activities	Storage of chairs, tables, check-out equipment, cleaning supplies,	
	office supplies, and kitchen supplies	
Days of use	7 days a week	
Hours of use	8 am – 10 pm Sunday-Thursday	
	8 am – 12 am Friday and Saturday	
Ceiling Height	8 am – 12 am Friday and Saturday 8 min. 9' pref.	
Finishes		
Floor	Sealed Concrete	
Base	See General Facility Data	
Walls	See General Facility Data	
Ceiling	See General Facility Data	
Sightlines	No Special Requirements	
Doors	Double doors to facilitate movements	
Windows	No Requirements	
Storage	Storage room, lockable cabinets, interior storage areas, tables and	
	chairs, separate closets for office supplies, cleaning supplies and	
	check out equipment	
Signage	See General Facility Data	
Security	Card access, Surveillance and PA capabilities required. See General	
	Facility Data	
Special Requirements	Flat easy access. No stairs. Concrete path to exterior storage.	
Future Considerations	No Special Requirements	
Systems		
Mechanical	Ventilation: Exhaust fan	
Plumbing	No Requirements	
Lighting	See General Facility Data	
Power	Provide min. (2) 120 volt receptacles.	
	See General Facility Data	

Communications	
Data	No Requirements
Telecom	Telecom / PA
Video	See security requirements
	See General Facility Data
Acoustics	No Special Requirements
Room Contents	
Group I	
Built-ins	Shelving in cabinets
Group II	
Movable-Equip.	No Requirements
Furnishings	No Requirements

### 6.4.3.13 Covered Patio Shared Facilities: Community Center

Description	Covered Patio
Quantity	One
ASF	500 @50%, included in building GSF
Number of	Full Time:
Occupants	Part time: 86
Adjacency Requirements	Multi-Purpose Room
Activities	Barbecue, dinner, socializing, playing
Days of use	7 days a week
Hours of use	8 am – 10 pm Sunday - Thursday
	8 am – 12 am Friday and Saturday
Ceiling Height	8' min.
Finishes	
Floor	Grass as well as hard surfaces
Base	N/A
Walls	N/A
Ceiling	Overhead shade structure
Sightlines	No Special Requirements
Doors	Double doors to facilitate furniture movement.
Windows	See General Facility Data
Storage	Locked exterior storage
Signage	See General Facility Data
Security	Card access, security camera
	See General Facility Data
Special Requirements	Area for barbecue
Future Considerations	No Special Requirements
Systems	
Mechanical	No Requirements
Plumbing	Exterior hose bib
Lighting	Area lighting required
Power	Exterior outlets with child proof covers
Communications	
Data	No Requirements
Telecom	No Requirements
Video	No Requirements
Acoustics	Built in sound system with indoor and outdoor speakers

Room Contents Group I Built-ins	No Requirements
Group II Movable-Equip. Furnishings	Barbecue Tables and chairs

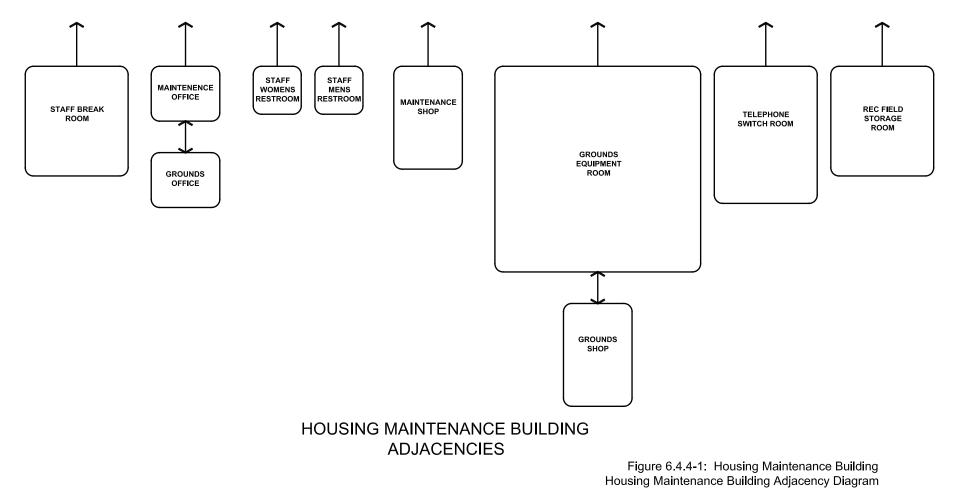
DPP November 2003

# 6.4.4 General Facility Shared Facilities: Housing Maintenance Building

Quantity         One           ASF         3,000           Number of         Full Time:           Occupants         Part time:           Adjacency Requirements         Rec. Fields, Community Activities, Car + Bike Parking, Trash + Recycling, Housing Units           Activities         Storage of equipment for IM sports (football, softball, soccer) and a cart.           Days of use         Weekdays: 5 Weekends: 2           Hours of use         5 pm – 12 am Monday – Friday 8 am – 12 am Saturday - Sunday (verify)           Ceiling Height         See Individual Room Data Sheets           Floor         See Individual Room Data Sheets           Base         See Individual Room Data Sheets           Valls         See Individual Room Data Sheets           Valls         See Individual Room Data Sheets           Sightlines         No Special Requirements           Doors         Roll up garage door, single doors, double doors           Windows         All windows should have safety glazing. Provide dual glazing at all areas where thermal and acoustic control is required. All east, south and west exposures should be durable and low maintenance. Preferably sliding. Not recessed.           Storage         See Individual Room Data Sheets           Signage         Building and entry identification, way finding, accessibility and code signage should be provided.           Storage	-		
ASF       3,000         Number of Occupants       Part time: Part time:         Adjacency Requirements       Rec. Fields, Community Activities, Car + Bike Parking, Trash + Recycling, Housing Units         Activities       Storage of equipment for IM sports (football, softball, soccer) and a cart.         Days of use       Weekdays: 5 Weekends: 2         Hours of use       5 pm - 12 am Monday - Friday 8 am - 12 am Saturday - Sunday (verify)         Ceiling Height       See Individual Room Data Sheets         Floor       See Individual Room Data Sheets         Base       See Individual Room Data Sheets         Valls       See Individual Room Data Sheets         Sightlines       No Special Requirements         Dors       Roll up garage door, single doors, double doors         Windows       All windows should have safety glazing. Provide dual glazing at all areas where thermal and acoustic control is required. All east, south and west exposures should be provided with passive solar shading devises. Frames should be durable and low maintenance. Preferably sliding. Not recessed.         Storage       See Individual Room Data Sheets         Signage       Suiding and entry identification, way finding, accessibility and code signage should be provided. Parking, entry, accessibility and control signage to be provided.         Security       Access for staff only.       Surveillance capabilities. Fencing	Description	General Maintenance Facility	
Number of Occupants         Full Time: Part time:           Adjacency Requirements         Rec. Fields, Community Activities, Car + Bike Parking, Trash + Recycling, Housing Units           Activities         Storage of equipment for IM sports (football, softball, soccer) and a cart.           Days of use         Weekdays: 5 Weekends: 2           Hours of use         5 pm – 12 am Monday – Friday 8 am – 12 am Saturday - Sunday (verify)           Ceiling Height         See Individual Room Data Sheets           Floor         See Individual Room Data Sheets           Base         See Individual Room Data Sheets           Valls         See Individual Room Data Sheets           Sightlines         No Special Requirements           Doors         Roll up garage door, single doors, double doors           Windows         All windows should have safety glazing. Provide dual glazing at all areas where thermal and acoustic control is required. All east, south and west exposures should be provided with passive solar shading devises. Frames should be durable and low maintenance. Preferably sliding. Not recessed.           Storage         See Individual Room Data Sheets           Signage         Building and entry identification, way finding, accessibility and code signage to be provided.           Security         Access for staff only. Surveillance capabilities. Fencing			
Occupants       Part time:         Adjacency Requirements       Rec. Fields, Community Activities, Car + Bike Parking, Trash + Recycling, Housing Units         Activities       Storage of equipment for IM sports (football, softball, soccer) and a cart.         Days of use       Weekdays: 5 Weekends: 2         Hours of use       5 pm - 12 am Monday - Friday 8 am - 12 am Saturday - Sunday (verify)         Ceiling Height       See Individual Room Data Sheets         Finishes       See Individual Room Data Sheets         Valls       See Individual Room Data Sheets         Base       See Individual Room Data Sheets         Sightlines       No Special Requirements         Doors       Roll up garage door, single doors, double doors         Windows       All windows should have safety glazing. Provide dual glazing at all areas where thermal and acoustic control is required. All east, south and west exposures should be provided with passive solar shading devises. Frames should be durable and low maintenance. Preferably sliding. Not recessed.         Storage       See Individual Room Data Sheets         Signage       Building and entry identification, way finding, accessibility and code signage should be provided.         Security       Access for staff only.       Surveillance capabilities. Fencing	ASF	3,000	
Adjacency Requirements       Rec. Fields, Community Activities, Car + Bike Parking, Trash + Recycling, Housing Units         Activities       Storage of equipment for IM sports (football, softball, soccer) and a cart.         Days of use       Weekdays: 5         Weekends: 2       Weekends: 2         Hours of use       5 pm – 12 am Monday – Friday 8 am – 12 am Saturday - Sunday (verify)         Ceiling Height       See Individual Room Data Sheets         Finishes       Floor       See Individual Room Data Sheets         Base       See Individual Room Data Sheets         Ceiling       See Individual Room Data Sheets         Base       See Individual Room Data Sheets         Sightlines       No Special Requirements         Doors       Roll up garage door, single doors, double doors         Windows       All windows should have safety glazing. Provide dual glazing at all areas where thermal and acoustic control is required. All east, south and west exposures should be provided with passive solar shading devises. Frames should be durable and low maintenance. Preferably sliding. Not recessed.         Storage       See Individual Room Data Sheets         Signage       Building and entry identification, way finding, accessibility and code signage should be provided.       Provide dual glazing at all areas where thermal and acoustic control is required.         Storage       See Individual Room Data Sheets       See Individual Room Data S	Number of	Full Time:	
Recycling, Housing Units         Activities       Storage of equipment for IM sports (football, softball, soccer) and a cart.         Days of use       Weekdays: 5 Weekends: 2         Hours of use       5 pm – 12 am Monday – Friday 8 am – 12 am Saturday - Sunday (verify)         Ceiling Height       See Individual Room Data Sheets         Finishes       Floor       See Individual Room Data Sheets         Base       See Individual Room Data Sheets       See Individual Room Data Sheets         Sightlines       No Special Requirements       Doors       Roll up garage door, single doors, double doors         Windows       All windows should have safety glazing. Provide dual glazing at all areas where thermal and acoustic control is required. All east, south and west exposures should be provided with passive solar shading devises. Frames should be provided with passive solar shading devises. Frames should be provided with passive solar shading devises for staff only. Surveillance capabilities and control signage to be provided.         Storage       See Individual Room Data Sheets       Storage         Storage       See Individual Room Data Sheets       Storage       See Individual Room Data Sheets         Signage       Building and entry identification, way finding, accessibility and code signage should be provided.       Security       Access for staff only.       Surveillance capabilities.       Fencing	Occupants	Part time:	
Activities       Storage of equipment for IM sports (football, softball, soccer) and a cart.         Days of use       Weekdays: 5 Weekends: 2         Hours of use       5 pm – 12 am Monday – Friday 8 am – 12 am Saturday - Sunday (verify)         Ceiling Height       See Individual Room Data Sheets         Finishes       Floor         See Individual Room Data Sheets       See Individual Room Data Sheets         Base       See Individual Room Data Sheets         Ceiling       See Individual Room Data Sheets         Sightlines       No Special Requirements         Doors       Roll up garage door, single doors, double doors         Windows       All windows should have safety glazing. Provide dual glazing at all areas where thermal and acoustic control is required. All east, south and west exposures should be provided with passive solar shading devises. Frames should be dormable and low maintenance. Preferably sliding. Not recessed.         Storage       See Individual Room Data Sheets         Signage       Building and entry identification, way finding, accessibility and code signage should be provided.         Storage       See Individual Room Data Sheets         Storage       See Individual Room Data Sheets         Signage       Building and entry identification, way finding, accessibility and code signage should be provided.         Storage       See Individual Room Data Sheets         Signage <th>Adjacency Requirements</th> <th></th>	Adjacency Requirements		
cart.         Days of use       Weekdays: 5 Weekends: 2         Hours of use       5 pm – 12 am Monday – Friday 8 am – 12 am Saturday - Sunday (verify)         Ceiling Height       See Individual Room Data Sheets         Finishes       Floor         Floor       See Individual Room Data Sheets         Base       See Individual Room Data Sheets         Walls       See Individual Room Data Sheets         Ceiling       See Individual Room Data Sheets         Base       See Individual Room Data Sheets         Valls       See Individual Room Data Sheets         Ceiling       See Individual Room Data Sheets         Sightlines       No Special Requirements         Doors       Roll up garage door, single doors, double doors         Windows       All windows should have safety glazing. Provide dual glazing at all areas where thermal and acoustic control is required. All east, south and west exposures should be provided with passive solar shading devises. Frames should be durable and low maintenance. Preferably sliding. Not recessed.         Storage       See Individual Room Data Sheets         Signage       Building and entry identification, way finding, accessibility and code signage should be provided.         Security       Access for staff only.       Surveilance capabilities. Fencing		Recycling, Housing Units	
Days of use         Weekdays: 5 Weekends: 2           Hours of use         5 pm – 12 am Monday – Friday 8 am – 12 am Saturday - Sunday (verify)           Ceiling Height         See Individual Room Data Sheets           Finishes         Floor           Floor         See Individual Room Data Sheets           Base         See Individual Room Data Sheets           Walls         See Individual Room Data Sheets           Ceiling         See Individual Room Data Sheets           Walls         See Individual Room Data Sheets           Ceiling         See Individual Room Data Sheets           Sightlines         No Special Requirements           Doors         Roll up garage door, single doors, double doors           Windows         All windows should have safety glazing. Provide dual glazing at all areas where thermal and acoustic control is required. All east, south and west exposures should be provided with passive solar shading devises. Frames should be durable and low maintenance. Preferably sliding. Not recessed.           Storage         See Individual Room Data Sheets           Signage         Building and entry identification, way finding, accessibility and code signage should be provided.           Security         Access for staff only. Surveillance capabilities. Fencing	Activities	Storage of equipment for IM sports (football, softball, soccer) and a	
Weekends: 2           Hours of use         5 pm – 12 am Monday – Friday 8 am – 12 am Saturday - Sunday (verify)           Ceiling Height         See Individual Room Data Sheets           Finishes         Floor           See Individual Room Data Sheets           Base         See Individual Room Data Sheets           Walls         See Individual Room Data Sheets           Ceiling         See Individual Room Data Sheets           Walls         See Individual Room Data Sheets           Ceiling         See Individual Room Data Sheets           Sightlines         No Special Requirements           Doors         Roll up garage door, single doors, double doors           Windows         All windows should have safety glazing. Provide dual glazing at all areas where thermal and acoustic control is required. All east, south and west exposures should be provided with passive solar shading devises. Frames should be durable and low maintenance. Preferably sliding. Not recessed.           Storage         See Individual Room Data Sheets           Signage         Building and entry identification, way finding, accessibility and code signage should be provided.           See to be provided.         Serveilance capabilities. Fencing		cart.	
Hours of use       5 pm - 12 am Monday - Friday 8 am - 12 am Saturday - Sunday (verify)         Ceiling Height       See Individual Room Data Sheets         Finishes       Floor         See Individual Room Data Sheets         Base       See Individual Room Data Sheets         Walls       See Individual Room Data Sheets         Ceiling       See Individual Room Data Sheets         Walls       See Individual Room Data Sheets         Ceiling       See Individual Room Data Sheets         Ceiling       See Individual Room Data Sheets         Ceiling       See Individual Room Data Sheets         Sightlines       No Special Requirements         Doors       Roll up garage door, single doors, double doors         Windows       All windows should have safety glazing. Provide dual glazing at all areas where thermal and acoustic control is required. All east, south and west exposures should be provided with passive solar shading devises. Frames should be durable and low maintenance. Preferably sliding. Not recessed.         Storage       See Individual Room Data Sheets         Signage       Building and entry identification, way finding, accessibility and code signage should be provided.         Security       Access for staff only. Surveillance capabilities. Fencing	Days of use	Weekdays: 5	
8 am – 12 am Saturday - Sunday (verify)         Ceiling Height       See Individual Room Data Sheets         Finishes       Floor       See Individual Room Data Sheets         Base       See Individual Room Data Sheets         Walls       See Individual Room Data Sheets         Ceiling       See Individual Room Data Sheets         Walls       See Individual Room Data Sheets         Ceiling       See Individual Room Data Sheets         Ceiling       See Individual Room Data Sheets         Sightlines       No Special Requirements         Doors       Roll up garage door, single doors, double doors         Windows       All windows should have safety glazing. Provide dual glazing at all areas where thermal and acoustic control is required. All east, south and west exposures should be provided with passive solar shading devises. Frames should be durable and low maintenance. Preferably sliding. Not recessed.         Storage       See Individual Room Data Sheets         Signage       Building and entry identification, way finding, accessibility and code signage should be provided.         Security       Access for staff only.       Surveillance capabilities.       Fencing	-	Weekends: 2	
Ceiling Height         See Individual Room Data Sheets           Finishes         Floor         See Individual Room Data Sheets           Base         See Individual Room Data Sheets           Base         See Individual Room Data Sheets           Walls         See Individual Room Data Sheets           Ceiling         See Individual Room Data Sheets           Ceiling         See Individual Room Data Sheets           Sightlines         No Special Requirements           Doors         Roll up garage door, single doors, double doors           Windows         All windows should have safety glazing. Provide dual glazing at all areas where thermal and acoustic control is required. All east, south and west exposures should be provided with passive solar shading devises. Frames shoul be durable and low maintenance. Preferably sliding. Not recessed.           Storage         See Individual Room Data Sheets           Signage         Building and entry identification, way finding, accessibility and code signage should be provided.           Security         Access for staff only.         Surveillance capabilities. Fencing	Hours of use	5 pm – 12 am Monday – Friday	
Ceiling Height         See Individual Room Data Sheets           Finishes         Floor         See Individual Room Data Sheets           Base         See Individual Room Data Sheets           Base         See Individual Room Data Sheets           Walls         See Individual Room Data Sheets           Ceiling         See Individual Room Data Sheets           Ceiling         See Individual Room Data Sheets           Sightlines         No Special Requirements           Doors         Roll up garage door, single doors, double doors           Windows         All windows should have safety glazing. Provide dual glazing at all areas where thermal and acoustic control is required. All east, south and west exposures should be provided with passive solar shading devises. Frames shoul be durable and low maintenance. Preferably sliding. Not recessed.           Storage         See Individual Room Data Sheets           Signage         Building and entry identification, way finding, accessibility and code signage should be provided.           Security         Access for staff only.         Surveillance capabilities. Fencing		8 am – 12 am Saturday - Sunday (verify)	
Finishes       Floor       See Individual Room Data Sheets         Base       See Individual Room Data Sheets         Walls       See Individual Room Data Sheets         Ceiling       See Individual Room Data Sheets         Ceiling       See Individual Room Data Sheets         Sightlines       No Special Requirements         Doors       Roll up garage door, single doors, double doors         Windows       All windows should have safety glazing. Provide dual glazing at all areas where thermal and acoustic control is required. All east, south and west exposures should be provided with passive solar shading devises. Frames should be durable and low maintenance. Preferably sliding. Not recessed.         Storage       See Individual Room Data Sheets         Signage       Building and entry identification, way finding, accessibility and code signage should be provided.         Security       Access for staff only. Surveillance capabilities. Fencing	Ceiling Height		
Base       See Individual Room Data Sheets         Walls       See Individual Room Data Sheets         Ceiling       See Individual Room Data Sheets         Sightlines       No Special Requirements         Doors       Roll up garage door, single doors, double doors         Windows       All windows should have safety glazing. Provide dual glazing at all areas where thermal and acoustic control is required. All east, south and west exposures should be provided with passive solar shading devises. Frames should be durable and low maintenance. Preferably sliding. Not recessed.         Storage       See Individual Room Data Sheets         Signage       Building and entry identification, way finding, accessibility and code signage to be provided.         Security       Access for staff only. Surveillance capabilities. Fencing			
Walls       See Individual Room Data Sheets         Ceiling       See Individual Room Data Sheets         Sightlines       No Special Requirements         Doors       Roll up garage door, single doors, double doors         Windows       All windows should have safety glazing. Provide dual glazing at all areas where thermal and acoustic control is required. All east, south and west exposures should be provided with passive solar shading devises. Frames should be durable and low maintenance. Preferably sliding. Not recessed.         Storage       See Individual Room Data Sheets         Signage       Building and entry identification, way finding, accessibility and code signage should be provided.         Security       Access for staff only. Surveillance capabilities. Fencing	Floor	See Individual Room Data Sheets	
Ceiling         See Individual Room Data Sheets           Sightlines         No Special Requirements           Doors         Roll up garage door, single doors, double doors           Windows         All windows should have safety glazing. Provide dual glazing at all areas where thermal and acoustic control is required. All east, south and west exposures should be provided with passive solar shading devises. Frames should be durable and low maintenance. Preferably sliding. Not recessed.           Storage         See Individual Room Data Sheets           Signage         Building and entry identification, way finding, accessibility and code signage should be provided.           Security         Access for staff only. Surveillance capabilities. Fencing	Base	See Individual Room Data Sheets	
Sightlines         No Special Requirements           Doors         Roll up garage door, single doors, double doors           Windows         All windows should have safety glazing. Provide dual glazing at all areas where thermal and acoustic control is required. All east, south and west exposures should be provided with passive solar shading devises. Frames should be durable and low maintenance. Preferably sliding. Not recessed.           Storage         See Individual Room Data Sheets           Signage         Building and entry identification, way finding, accessibility and code signage should be provided.           Security         Access for staff only. Surveillance capabilities. Fencing	Walls	See Individual Room Data Sheets	
Doors         Roll up garage door, single doors, double doors           Windows         All windows should have safety glazing. Provide dual glazing at all areas where thermal and acoustic control is required. All east, south and west exposures should be provided with passive solar shading devises. Frames should be durable and low maintenance. Preferably sliding. Not recessed.           Storage         See Individual Room Data Sheets           Signage         Building and entry identification, way finding, accessibility and code signage should be provided.           Security         Access for staff only. Surveillance capabilities. Fencing	Ceiling	See Individual Room Data Sheets	
Windows         All windows should have safety glazing. Provide dual glazing at all areas where thermal and acoustic control is required. All east, south and west exposures should be provided with passive solar shading devises. Frames should be durable and low maintenance. Preferably sliding. Not recessed.           Storage         See Individual Room Data Sheets           Signage         Building and entry identification, way finding, accessibility and code signage to be provided.           Security         Access for staff only.         Surveillance capabilities.         Fencing	Sightlines	No Special Requirements	
areas where thermal and acoustic control is required. All east, south and west exposures should be provided with passive solar shading devises. Frames should be durable and low maintenance. Preferably sliding. Not recessed.         Storage       See Individual Room Data Sheets         Signage       Building and entry identification, way finding, accessibility and code signage should be provided.         Security       Access for staff only. Surveillance capabilities. Fencing	Doors	Roll up garage door, single doors, double doors	
areas where thermal and acoustic control is required. All east, south and west exposures should be provided with passive solar shading devises. Frames should be durable and low maintenance. Preferably sliding. Not recessed.         Storage       See Individual Room Data Sheets         Signage       Building and entry identification, way finding, accessibility and code signage should be provided. Parking, entry, accessibility and control signage to be provided.         Security       Access for staff only. Surveillance capabilities. Fencing	Windows	All windows should have safety glazing. Provide dual glazing at all	
devises. Frames should be durable and low maintenance. Preferably sliding. Not recessed.           Storage         See Individual Room Data Sheets           Signage         Building and entry identification, way finding, accessibility and code signage should be provided. Parking, entry, accessibility and control signage to be provided.           Security         Access for staff only.         Surveillance capabilities.         Fencing			
sliding. Not recessed.           Storage         See Individual Room Data Sheets           Signage         Building and entry identification, way finding, accessibility and code signage should be provided. Parking, entry, accessibility and control signage to be provided.           Security         Access for staff only.         Surveillance capabilities.         Fencing		and west exposures should be provided with passive solar shading	
Storage         See Individual Room Data Sheets           Signage         Building and entry identification, way finding, accessibility and code signage should be provided. Parking, entry, accessibility and control signage to be provided.           Security         Access for staff only.         Surveillance capabilities.         Fencing		devises. Frames should be durable and low maintenance. Preferably	
Signage         Building and entry identification, way finding, accessibility and code signage should be provided. Parking, entry, accessibility and control signage to be provided.           Security         Access for staff only.         Surveillance capabilities.         Fencing		sliding. Not recessed.	
signage should be provided. Parking, entry, accessibility and control signage to be provided.           Security         Access for staff only.         Surveillance capabilities.         Fencing	Storage	See Individual Room Data Sheets	
signage to be provided. Security Access for staff only. Surveillance capabilities. Fencing	Signage	Building and entry identification, way finding, accessibility and code	
signage to be provided. Security Access for staff only. Surveillance capabilities. Fencing		signage should be provided. Parking, entry, accessibility and control	
	Security		
	-		
requirements? (UCR to verify) Special Requirements Roll up garage door for Rec. Field cart	Special Requirements	Roll up garage door for Rec. Field cart	
Future Considerations No Special Requirements			

0	
Systems	
Mechanical	Ventilation air system only.
Plumbing	Provide exterior hose bibs for washing any equipment. Air compressor.
Lighting	Exterior: Flood lighting at all exterior building and yard areas. Interior: Surface or recess fluorescent fixtures with multiple switching as required. See Individual Room Data Sheets
Power	110 volt outlets
Communications	
Data	Yes, See Individual Room Data Sheets
Telecom	Yes, See Individual Room Data Sheets
Video	CATV, See security requirements
Acoustics	No Special Requirements
Room Contents	
Group I	
Built-ins	See Individual Room Data Sheets
Group II	
Movable-Equip.	See Individual Room Data Sheets
Furnishings	See Individual Room Data Sheets

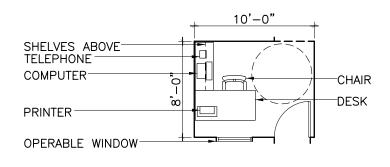




## 6.4.4.1 Maintenance/Grounds Offices Shared Facilities: Housing Maintenance Building

December	
Description	Offices
Quantity	Two
ASF	80 each
Number of	Full Time: 1
Occupants	Part time:
Adjacency Requirements	Grounds/Maintenance Office, Outdoors
Activities	Office work
Days of use	Weekdays: 5
	Weekends: 2
Hours of use	5 pm – 12 am Monday – Friday
	8 am – 12 am Saturday - Sunday <i>(verify)</i>
Ceiling Height	8' min.
Finishes	
Floor	Carpet
Base	4" Resilient Cove Base
Walls	Washable Painted Gypsum Board
Ceiling	Acoustic Tile
Sightlines	No Special Requirements
Doors	Single door
Windows	See General Facility Data
Storage	Shelves
Signage	See General Facility Data
Security	See General Facility Data
Special Requirements	No Special Requirements
Future Considerations	No Special Requirements
Systems	
Mechanical	See General Facility Data
Plumbing	No Requirements
Lighting	See General Facility Data
Power	See General Facility Data
Communications	
Data	Data ports (2 locations)
Telecom	Telecom / PA
Video	See security requirements
Acoustics	No Special Requirements

Room Contents Group I		
Built-ins Group II	No Requirements	
Movable-Equip.	Computer, telephone, printer	
Furnishings	System furniture, chair	





### MAINTENANCE / GROUNDS OFFICE 80 ASF

ADJACENCY: MAINTENANCE/GROUNDS OFFICE, OUTDOORS

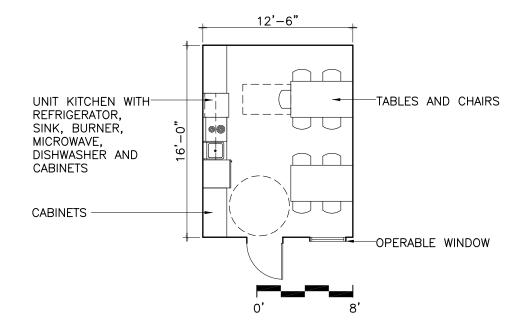
Figure 6.4.4.1-1: Housing Maintenance Building Maintenance / Grounds Office Room Diagram

# 6.4.4.2 Staff Break Room

Shared Facilities: Housing Maintenance Building

Quantity         One           ASF         200           Number of         Full Time:           Occupants         Part time:           Adjacency Requirements         Outdoors           Activities         Staff's lunch and break area, including food preparation.           Days of use         Weekdays: 5           Weekends: 2         Weekends: 2           Hours of use         5 pm - 12 am Monday - Friday 8 am - 12 am Saturday - Sunday (verify)           Ceiling Height         8' min.           Finishes         Floor           Floor         Carpet           Base         4" Resilient Cove Base           Walls         Washable Painted Gypsum Board           Ceiling         Washable Painted Gypsum Board           Sightlines         No Special Requirements           Doors         Single door           Windows         See General Facility Data           Storage         Cabinets above / below countertop for limited kitchen utensils           Signage         See General Facility Data           Special Requirements         No Special Re	Description	
ASF     200       Number of Occupants     Part time:       Adjacency Requirements     Outdoors       Activities     Staff's lunch and break area, including food preparation.       Days of use     Weekdays: 5 Weekdays: 5       Hours of use     5 pm – 12 am Monday – Friday 8 am – 12 am Saturday - Sunday (verify)       Ceiling Height     8' min.       Floor     Carpet Base       Valls     Washable Painted Gypsum Board       Ceiling     Washable Painted Gypsum Board       Ceiling     Washable Painted Gypsum Board       Ceiling     Washable Painted Gypsum Board       Sightlines     No Special Requirements       Doors     Single door       Windows     See General Facility Data       Storage     Cabinets above / below countertop for limited kitchen utensils       Signage     See General Facility Data       Special Requirements     No Special Requirements       Mochanical     See General Facility Data       Systems     Mechanical       Mechanical     See General Facility Data       Power     See G	Description	Staff Break Room with Kitchenette
Number of Occupants       Full Time: Part time:         Adjacency Requirements       Outdoors         Activities       Staff's lunch and break area, including food preparation.         Days of use       Weekdays: 5 Weekends: 2         Hours of use       5 pm - 12 am Monday – Friday 8 am - 12 am Saturday - Sunday (verify)         Ceiling Height       8' min.         Finishes       Filoor         Floor       Carpet Base         Base       4' Resilient Cove Base         Walls       Washable Painted Gypsum Board         Ceiling       Washable Painted Gypsum Board         Ceiling       Washable Painted Gypsum Board         Sightlines       No Special Requirements         Doors       Single door         Windows       See General Facility Data         Storage       Cabinets above / below countertop for limited kitchen utensils         Signage       See General Facility Data         Special Requirements       No Special Requirements         Future Considerations       No Special Requirements         Mechanical       See General Facility Data         Plumbing       As required for Unit Kitchen.         Lighting       See General Facility Data         Power       See General Facility Data         Powe		
Occupants         Part time:           Adjacency Requirements         Outdoors           Activities         Staff's lunch and break area, including food preparation.           Days of use         Weekdays: 5 Weekdays: 5 Weekends: 2           Hours of use         5 pm – 12 am Monday – Friday 8 am – 12 am Saturday - Sunday (verify)           Ceiling Height         8' min.           Finishes         Carpet Base         4" Resilient Cove Base Walls         Washable Painted Gypsum Board Ceiling           Sightlines         No Special Requirements           Doors         Single door           Windows         See General Facility Data           Storage         Cabinets above / below countertop for limited kitchen utensils           Signage         See General Facility Data           Special Requirements         No Special Requirements           Mouss         See General Facility Data           Special Requirements         No Special Requirements           Mos Special Requirements         No Special Requirements           Mount Considerations         No Special Requirements           Systems         Mechanical         See General Facility Data           Power         See General Facility Data         Data           Power         See General Facility Data         Data ports (2 locations)		
Adjacency Requirements       Outdoors         Activities       Staff's lunch and break area, including food preparation.         Days of use       Weekdays: 5 Weekends: 2         Hours of use       5 pm – 12 am Monday – Friday 8 am – 12 am Saturday - Sunday (verify)         Ceiling Height       8' min.         Finishes       Floor         Floor       Carpet         Base       4'' Resilient Cove Base         Walls       Washable Painted Gypsum Board         Ceiling       Washable Painted Gypsum Board         Ceiling       Washable Painted Gypsum Board         Ceiling       Washable Painted Gypsum Board         Sightlines       No Special Requirements         Doors       Single door         Windows       See General Facility Data         Storage       Cabinets above / below countertop for limited kitchen utensils         Signage       See General Facility Data         Special Requirements       No Special Requirements         No Special Requirements       No Special Requirements         Systems       Mechanical       See General Facility Data         Power       See General Facility Data       Power         Power       See General Facility Data         Power       See General Facility Data </th <th></th> <th></th>		
Activities       Staff's lunch and break area, including food preparation.         Days of use       Weekdays: 5 Weekends: 2         Hours of use       5 pm – 12 am Monday – Friday & am – 12 am Saturday - Sunday (verify)         Ceiling Height       8' min.         Finishes       Carpet Base       4" Resilient Cove Base Walls       Washable Painted Gypsum Board Ceiling         Valls       Washable Painted Gypsum Board       Storage       Cainet Activity Data         Storage       Cabinets above / below countertop for limited kitchen utensils       Storage         Storage       Cabinets above / below countertop for limited kitchen utensils         Signage       See General Facility Data         Special Requirements       No Special Requirements         Systems       Mechanical       See General Facility Data         Plumbing       As required for Unit Kitchen.       Lighting       See General Facility Data         Power       See General Facility Data       See General Facility Data       Dota         Data       Data ports (2 locations)       Telecom       Telecom / PA         Video       CATV		
Days of use       Weekdays: 5 Weekends: 2         Hours of use       5 pm – 12 am Monday – Friday 8 am – 12 am Saturday - Sunday (verify)         Ceiling Height       8' min.         Finishes       Floor         Carpet       Base         Base       4'' Resilient Cove Base         Walls       Washable Painted Gypsum Board         Ceiling       Washable Painted Gypsum Board         Ceiling       Washable Painted Gypsum Board         Ceiling       Washable Painted Gypsum Board         Sightlines       No Special Requirements         Doors       Single door         Windows       See General Facility Data         Storage       Cabinets above / below countertop for limited kitchen utensils         Signage       See General Facility Data         Special Requirements       No Special Requirements         Future Considerations       No Special Requirements         Systems       Mechanical       See General Facility Data         Plumbing       As required for Unit Kitchen.       Lighting         Lighting       See General Facility Data         Power       See General Facility Data         Power       See General Facility Data         Power       See General Facility Data         Powe	······ A	
Weekends: 2           Hours of use         5 pm – 12 am Monday – Friday 8 am – 12 am Saturday - Sunday (verify)           Ceiling Height         8' min.           Finishes         6' min.           Floor         Carpet           Base         4" Resilient Cove Base           Walls         Washable Painted Gypsum Board           Ceiling         Washable Painted Gypsum Board           Sightlines         No Special Requirements           Doors         Single door           Windows         See General Facility Data           Storage         Cabinets above / below countertop for limited kitchen utensils           Signage         See General Facility Data           Special Requirements         No Special Requirements           Future Considerations         No Special Requirements           Systems         Mechanical         See General Facility Data           Power         See General Facility Data         Power           Power         See General Facility Data         Power           Power         See General Facility Data         Power           D		
Hours of use       5 pm – 12 am Monday – Friday 8 am – 12 am Saturday - Sunday (verify)         Ceiling Height       8' min.         Finishes       Floor         Carpet       Base         Base       4" Resilient Cove Base         Walls       Washable Painted Gypsum Board         Ceiling       Washable Painted Gypsum Board         Ceiling       Washable Painted Gypsum Board         Ceiling       Washable Painted Gypsum Board         Sightlines       No Special Requirements         Doors       Single door         Windows       See General Facility Data         Storage       Cabinets above / below countertop for limited kitchen utensils         Signage       See General Facility Data         Special Requirements       No Special Requirements         Future Considerations       No Special Requirements         Systems       Mechanical       See General Facility Data         Power       See General Facility Data       Power         Power       See General Facility Data         Power       S	Days of use	
8 am – 12 am Saturday - Sunday (verify)         Ceiling Height       8' min.         Finishes       Floor         Carpet       Base         Base       4" Resilient Cove Base         Walls       Washable Painted Gypsum Board         Ceiling       Washable Painted Gypsum Board         Ceiling       Washable Painted Gypsum Board         Ceiling       Washable Painted Gypsum Board         Sightlines       No Special Requirements         Doors       Single door         Windows       See General Facility Data         Storage       Cabinets above / below countertop for limited kitchen utensils         Signage       See General Facility Data         Security       See General Facility Data         Special Requirements       No Special Requirements         Future Considerations       No Special Requirements         Systems       Mechanical       See General Facility Data         Plumbing       As required for Unit Kitchen.       Lighting         Lighting       See General Facility Data       Power         Power       See General Facility Data       Power         Power       See General Facility Data       Power         Data       Data ports (2 locations)       Telecom <th></th> <th></th>		
Ceiling Height       8' min.         Finishes       Floor         Carpet       Base         Base       4" Resilient Cove Base         Walls       Washable Painted Gypsum Board         Ceiling       Washable Painted Gypsum Board         Ceiling       Washable Painted Gypsum Board         Sightlines       No Special Requirements         Doors       Single door         Windows       See General Facility Data         Storage       Cabinets above / below countertop for limited kitchen utensils         Signage       See General Facility Data         Security       See General Facility Data         Special Requirements       No Special Requirements         Future Considerations       No Special Requirements         Systems       Mechanical       See General Facility Data         Plumbing       As required for Unit Kitchen.       Lighting         Lighting       See General Facility Data         Power       See General Facility Data         Data       Data ports (2 locations)	Hours of use	
Finishes       Floor       Carpet         Base       4" Resilient Cove Base         Walls       Washable Painted Gypsum Board         Ceiling       Washable Painted Gypsum Board         Ceiling       Washable Painted Gypsum Board         Sightlines       No Special Requirements         Doors       Single door         Windows       See General Facility Data         Storage       Cabinets above / below countertop for limited kitchen utensils         Signage       See General Facility Data         Security       See General Facility Data         Special Requirements       No Special Requirements         Future Considerations       No Special Requirements         Systems       Mechanical         See General Facility Data       Power         See General Facility Data       Power         Power       See General Facility Data         Data       Data ports (2 locations)         Telecom       Telecom / PA         Video       <		8 am – 12 am Saturday - Sunday <i>(verify)</i>
Floor       Carpet         Base       4" Resilient Cove Base         Walls       Washable Painted Gypsum Board         Ceiling       Washable Painted Gypsum Board         Sightlines       No Special Requirements         Doors       Single door         Windows       See General Facility Data         Storage       Cabinets above / below countertop for limited kitchen utensils         Signage       See General Facility Data         Security       See General Facility Data         Special Requirements       No Special Requirements         Future Considerations       No Special Requirements         Systems       See General Facility Data         Plumbing       As required for Unit Kitchen.         Lighting       See General Facility Data         Power       See General Facility Data         Data       Data ports (2 locations)         Telecom	Ceiling Height	8' min.
Base       4" Resilient Cove Base         Walls       Washable Painted Gypsum Board         Ceiling       Washable Painted Gypsum Board         Sightlines       No Special Requirements         Doors       Single door         Windows       See General Facility Data         Storage       Cabinets above / below countertop for limited kitchen utensils         Signage       See General Facility Data         Security       See General Facility Data         Special Requirements       No Special Requirements         Future Considerations       No Special Requirements         Systems       Mechanical         Plumbing       As required for Unit Kitchen.         Lighting       See General Facility Data         Power       See General Facility Data         Data       Data ports (2 locations)         Telecom       Telecom / PA         Video       CATV	Finishes	
Walls       Washable Painted Gypsum Board         Ceiling       Washable Painted Gypsum Board         Sightlines       No Special Requirements         Doors       Single door         Windows       See General Facility Data         Storage       Cabinets above / below countertop for limited kitchen utensils         Signage       See General Facility Data         Security       See General Facility Data         Special Requirements       No Special Requirements         Future Considerations       No Special Requirements         Systems       Mechanical         Plumbing       As required for Unit Kitchen.         Lighting       See General Facility Data         Power       See General Facility Data         Data       Data ports (2 locations)         Telecom       Telecom / PA         Video       CATV	Floor	Carpet
Ceiling         Washable Painted Gypsum Board           Sightlines         No Special Requirements           Doors         Single door           Windows         See General Facility Data           Storage         Cabinets above / below countertop for limited kitchen utensils           Signage         See General Facility Data           Security         See General Facility Data           Special Requirements         No Special Requirements           Future Considerations         No Special Requirements           Systems         Mechanical         See General Facility Data           Plumbing         As required for Unit Kitchen.         Lighting         See General Facility Data           Power         See General Facility Data         Data         Data ports (2 locations)         Telecom           Data         Data ports (2 locations)         Telecom         Telecom / PA         Video         CATV	Base	
Sightlines         No Special Requirements           Doors         Single door           Windows         See General Facility Data           Storage         Cabinets above / below countertop for limited kitchen utensils           Signage         See General Facility Data           Security         See General Facility Data           Special Requirements         No Special Requirements           Future Considerations         No Special Requirements           Systems         Mechanical           Plumbing         As required for Unit Kitchen.           Lighting         See General Facility Data           Power         See General Facility Data           Dows         See General Facility Data           Plumbing         As required for Unit Kitchen.           Lighting         See General Facility Data           Power         See General Facility Data           Dota         Data ports (2 locations)           Telecom         Telecom / PA           Video         CATV	Walls	
Doors         Single door           Windows         See General Facility Data           Storage         Cabinets above / below countertop for limited kitchen utensils           Signage         See General Facility Data           Security         See General Facility Data           Special Requirements         No Special Requirements           Future Considerations         No Special Requirements           Systems         Mechanical           Plumbing         As required for Unit Kitchen.           Lighting         See General Facility Data           Power         See General Facility Data           Communications         Data ports (2 locations)           Telecom         Telecom / PA           Video         CATV		Washable Painted Gypsum Board
Windows         See General Facility Data           Storage         Cabinets above / below countertop for limited kitchen utensils           Signage         See General Facility Data           Security         See General Facility Data           Special Requirements         No Special Requirements           Future Considerations         No Special Requirements           Systems         Mechanical         See General Facility Data           Plumbing         As required for Unit Kitchen.         Lighting         See General Facility Data           Power         See General Facility Data         Data         Data ports (2 locations)           Telecom         Telecom / PA         Other CATV		***************************************
Storage         Cabinets above / below countertop for limited kitchen utensils           Signage         See General Facility Data           Security         See General Facility Data           Special Requirements         No Special Requirements           Future Considerations         No Special Requirements           Systems         Mechanical         See General Facility Data           Plumbing         As required for Unit Kitchen.         Lighting         See General Facility Data           Power         See General Facility Data         Data         Data ports (2 locations)           Telecom         Telecom / PA         Other CATV	Doors	Single door
Signage         See General Facility Data           Security         See General Facility Data           Special Requirements         No Special Requirements           Future Considerations         No Special Requirements           Systems         Mechanical         See General Facility Data           Plumbing         As required for Unit Kitchen.         Lighting         See General Facility Data           Power         See General Facility Data         Data         Data ports (2 locations)           Telecom         Telecom / PA         Video         CATV	Windows	
See General Facility Data           Special Requirements         No Special Requirements           Future Considerations         No Special Requirements           Systems         Mechanical         See General Facility Data           Plumbing         As required for Unit Kitchen.         Lighting         See General Facility Data           Power         See General Facility Data         Data         Data ports (2 locations)         Telecom         Telecom / PA           Video         CATV         CATV         Data         Data         Data         Data         Data         CATV	Storage	$\tilde{\epsilon}$
See General Facility Data           Special Requirements         No Special Requirements           Future Considerations         No Special Requirements           Systems         Mechanical         See General Facility Data           Plumbing         As required for Unit Kitchen.         Lighting         See General Facility Data           Power         See General Facility Data         Data         Data ports (2 locations)         Telecom         Telecom / PA           Video         CATV         CATV         Data         Data         Data         Data         Data         CATV	Signage	See General Facility Data
Future Considerations         No Special Requirements           Systems         Mechanical         See General Facility Data           Plumbing         As required for Unit Kitchen.         Lighting           Lighting         See General Facility Data           Power         See General Facility Data           Communications         Data ports (2 locations)           Telecom         Telecom / PA           Video         CATV	Security	See General Facility Data
Systems         Mechanical       See General Facility Data         Plumbing       As required for Unit Kitchen.         Lighting       See General Facility Data         Power       See General Facility Data         Communications       Data ports (2 locations)         Telecom       Telecom / PA         Video       CATV	Special Requirements	No Special Requirements
Mechanical     See General Facility Data       Plumbing     As required for Unit Kitchen.       Lighting     See General Facility Data       Power     See General Facility Data       Communications     Data ports (2 locations)       Telecom     Telecom / PA       Video     CATV	Future Considerations	No Special Requirements
Plumbing     As required for Unit Kitchen.       Lighting     See General Facility Data       Power     See General Facility Data       Communications     Data ports (2 locations)       Telecom     Telecom / PA       Video     CATV	Systems	
Lighting     See General Facility Data       Power     See General Facility Data       Communications     Data       Data     Data ports (2 locations)       Telecom     Telecom / PA       Video     CATV	Mechanical	See General Facility Data
Power     See General Facility Data       Communications     Data       Data     Data ports (2 locations)       Telecom     Telecom / PA       Video     CATV	Plumbing	
Communications           Data         Data ports (2 locations)           Telecom         Telecom / PA           Video         CATV	Lighting	See General Facility Data
DataData ports (2 locations)TelecomTelecom / PAVideoCATV		See General Facility Data
Telecom Telecom / PA Video CATV	Communications	
Video CATV		
	Telecom	
Acoustics No Special Requirements	Video	CATV
	Acoustics	No Special Requirements

Room Contents Group I Built-ins Group II	No Requirements
Movable-Equip.	Unit Kitchen with refrigerator, sink, burner, microwave, dishwasher and cabinets
Furnishings	Tables and chairs See Room Diagram



STAFF BREAK ROOM 200 ASF ADJACENCY: OUTDOORS

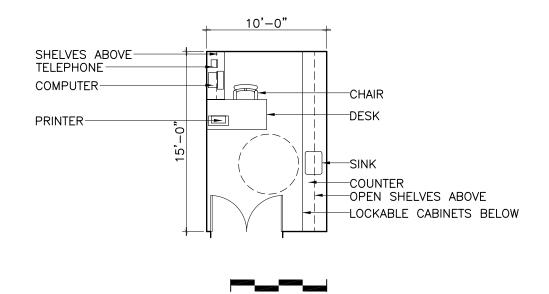
Figure 6.4.4.2-1: Housing Maintenance Building Staff Break Room Diagram

UCR WEST CAMPUS FAMILY STUDENT HOUSING DETAILED PROJECT PROGRAM

#### 6.4.4.3 Maintenance/Grounds Shops Shared Facilities: Housing Maintenance Building

Description	Maintenance and Grounds Shop
Quantity	Two
ASF	150 each
Number of	Full Time:
Occupants	Part time:
Adjacency Requirements	Grounds Equipment Room, Outdoors
Activities	
Days of use	Weekdays: 5
	Weekends: 2
Hours of use	5 pm – 12 am Monday – Friday
	8 am – 12 am Saturday - Sunday (verify)
Ceiling Height	8' min.
Finishes	***************************************
Floor	Sealed Concrete
Base	4" Resilient Cove Base
Walls	Washable Painted Gypsum Board
Ceiling	Washable Painted Gypsum Board
Sightlines	No Special Requirements
Doors	Double doors.
Windows	See General Facility Data
Storage	Shelves and lockable cabinets
Signage	See General Facility Data
Security	See General Facility Data
Special Requirements	No Special Requirements
Future Considerations	No Special Requirements
Systems	
Mechanical	See General Facility Data
Plumbing	Sink
Lighting	See General Facility Data
Power	(2) 4-plexes at counter height
Communications	
Data	Data ports (2 locations)
Telecom	Telecom / PA
Video	No Requirements
Acoustics	No Special Requirements

Room Contents Group I Built-ins	Counter, See Storage Section	
Group II		
Movable-Equip.	Computer, telephone, printer	
Furnishings	System furniture, chair	



8

## MAINTENANCE / GROUNDS SHOP

0'

150 ASF ADJACENCY: GROUNDS EQUIPMENT ROOM, OUTDOORS

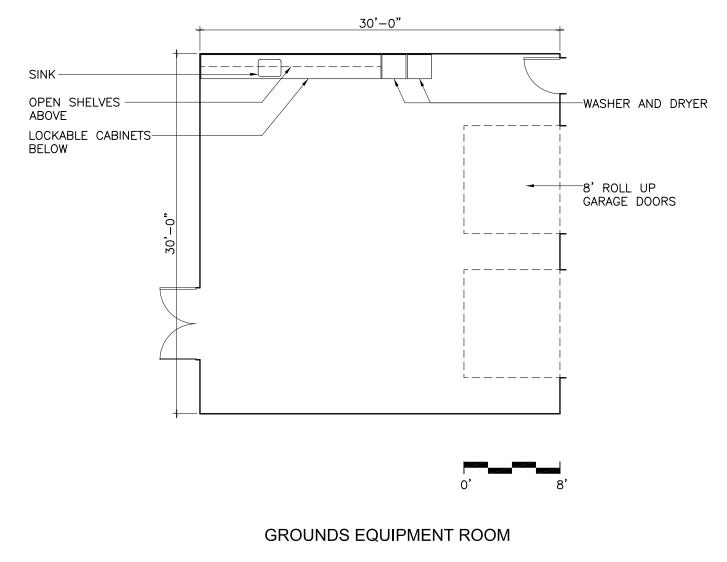
Figure 6.4.4.3-1: Housing Maintenance Building Maintenance / Grounds Shop Room Diagram

UCR WEST CAMPUS FAMILY STUDENT HOUSING DETAILED PROJECT PROGRAM

#### 6.4.4.4 Grounds Equipment Room Shared Facilities: Housing Maintenance Building

Description	Grounds Equipment Room
Quantity	One
ASF	900
Number of	Full Time:
Occupants	Part time:
Adjacency Requirements	
Adjacency Requirements	Grounds Shop, Outdoors
	Grounds equipment storage and maintenance
Days of use	Weekdays: 5 Weekends: 2
Hours of use	
Hours of use	5 pm – 12 am Monday – Friday
Cailing Usight	8 am – 12 am Saturday - Sunday (verify) 8'10" min.
Ceiling Height Finishes	
Finisnes Floor	Concrete
Base	4" Resilient Cove Base
Walls	
Ceiling	Washable Painted Gypsum Board
<u> </u>	Washable Painted Gypsum Board
Sightlines	No Special Requirements
Doors	Double doors, Single doors, 8' Roll Up Garage doors
Windows	See General Facility Data
Storage	Shelves and lockable cabinets
Signage	See General Facility Data
Security	See General Facility Data
Special Requirements	8' Roll Up Garage doors
Future Considerations	No Special Requirements
Systems	
Mechanical	See General Facility Data
Plumbing	Sink, washer and dryer
Lighting	See General Facility Data
Power	See General Facility Data
Communications	
Data	Data ports (2 locations)
Telecom	Telecom / PA
Video	No Special Requirements
Acoustics	No Special Requirements

Room Contents Group I Built-ins	No Requirements	
Group II		
Movable-Equip.	See Storage and Plumbing Sections	
Furnishings	No Requirements	



900 ASF ADJACENCY: GROUNDS SHOP, OUTDOORS

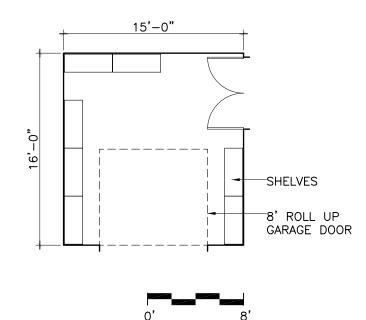
Figure 6.4.4.4-1: Housing Maintenance Building Grounds Equipment Room Diagram

UCR WEST CAMPUS FAMILY STUDENT HOUSING DETAILED PROJECT PROGRAM

#### 6.4.4.5 Recreation Field Storage Room Shared Facilities: Housing Maintenance Building

Description	Recreation Field Storage
Quantity	One
ASF	240
Number of	Full Time:
Occupants	Part time:
Adjacency Requirements	Outdoors
Activities	Storage and maintenance of Rec. Field equipment
Days of use	Weekdays: 5
	Weekends: 2
Hours of use	5 pm – 12 am Monday – Friday
	8 am – 12 am Saturday - Sunday (verify)
Ceiling Height	8'10" min.
Finishes	
Floor	Concrete
Base	4" Resilient Cove Base
Walls	Washable Painted Gypsum Board
Ceiling	Washable Painted Gypsum Board
Sightlines	No Special Requirements
Doors	Single doors, 8' Roll Up Garage doors
Windows	See General Facility Data
Storage	Shelves
Signage	See General Facility Data
Security	See General Facility Data
Special Requirements	8' Roll Up Garage doors
Future Considerations	No Special Requirements
Systems	
Mechanical	See General Facility Data
Plumbing	See General Facility Data
Lighting	See General Facility Data
Power	See General Facility Data
Communications	
Data	Data ports (2 locations)
Telecom	Telecom / PA
Video	No Special Requirements
Acoustics	No Special Requirements

Room Contents Group I	
Built-ins	Shelves
Group II	
Movable-Equip.	See Storage Section
Furnishings	No Requirements



#### RECREATION FIELD STORAGE 240 ASF ADJACENCY: OUTDOORS

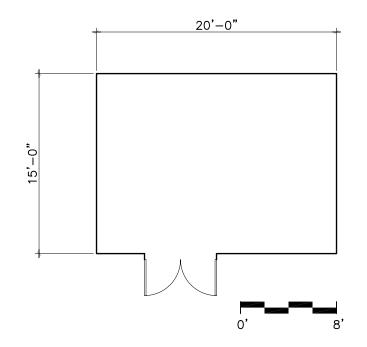
Figure 6.4.4.5-1: Housing Maintenance Building Recreation Field Storage Room Diagram

UCR WEST CAMPUS FAMILY STUDENT HOUSING DETAILED PROJECT PROGRAM

#### 6.4.4.6 Telephone Switch Room Shared Facilities: Housing Maintenance Building

Description	Telephone Switch Room
Quantity	One
ASF	300
Number of	Full Time:
Occupants	Part time:
Adjacency Requirements	Outdoors, Parking
Activities	Storage of equipment for IM sports (football, softball, soccer) and a
	cart.
Days of use	7 days a week
Hours of use	24 hours a day
Ceiling Height	8' min.
Finishes	
Floor	Tile or other smooth surface that does not produce dust.
Base	4" Resilient Cove Base
Walls	Washable Painted Gypsum Board
Ceiling	Washable Painted Gypsum Board
Sightlines	No structure in space
Doors	Double doors
Windows	See General Facility Data
Storage	No Special Requirements
Signage	See General Facility Data
Security	Locks keyed with standard telecom housing keys. (PHP)
	See General Facility Data
Special Requirements	Separate air conditioning on backup power and independent
	thermostat; locate room far enough from sources of electromagnetic
	interference (EMI) to reduce interference with the telecommunications
	cabling. EMI sources include: electrical power supply transformers,
	motors and generators.
Future Considerations	Include conduit stubs for future phases including phases on the other
	side of Iowa. Room for lightning protection for future phases.

Systems	
Mechanical	See Special Requirements and Future Considerations Sections
Plumbing	Do not route plumbing through telephone equipment room
Lighting	Lighting on backup power. Must be uniform with a minimum of 500 lux (50 foot-candles) as measured 1 m (3 ft.) above the finished floor.
Power	Generator for all equipment in room, 3 phase power for rectifier power supply and battery backup system.
Communications	
Data	Data Ports (2 locations)
Telecom	Lightning protection for all phone conductors leaving the building
Video	No Special Requirements
Acoustics	No Special Requirements
Room Contents	
Group I	
Built-ins	No Requirements
Group II	
Movable-Equip.	No Requirements
Furnishings	No Requirements



#### TELEPHONE SWITCH ROOM 300 ASF ADJACENCY: OUTDOORS, PARKING

Figure 6.4.4.6-1: Housing Miantenance Building Telephone Switch Room Diagram

UCR WEST CAMPUS FAMILY STUDENT HOUSING DETAILED PROJECT PROGRAM

## 6.4.4.7 Staff Restrooms

Shared Facilities: Housing Maintenance Building

Description	Telephone Switch Room
Quantity	Two (one men's and one women's)
ASF	48 each
Number of	Full Time: N/A
Occupants	Part time:
Adjacency Requirements	Outdoors
Activities	
Days of use	Weekdays: 5
	Weekends: 2
Hours of use	5 pm – 12 am Monday – Friday
	8 am – 12 am Saturday – Sunday
Ceiling Height	9' min.
Finishes	
Floor	Tile
Base	Ceramic Tile Coved
Walls	Ceramic Tile min. Wainscot Height
Ceiling	Washable Painted Gypsum Board
Sightlines	No Special Requirements
Doors	Single doors
Windows	See General Facility Data
Storage	No Special Requirements
Signage	See General Facility Data
Security	Panic Buttons
	See General Facility Data
Special Requirements	ADA compliant toilet
Future Considerations	No Special Requirements
Systems	
Mechanical	Provide exhaust typ.
Plumbing	Toilets, lavs, waterless urinals where provided
Lighting	See General Facility Data
Power	See General Facility Data
Communications	
Data	No Requirements
Telecom	No Requirements
Video	No Requirements
Acoustics	No Special Requirements

Room Contents Group I Built-ins Group II	Provide typical bathroom accessories (recessed)
Movable-Equip.	No Requirements
Furnishings	No Requirements

#### Plan per code.

# 6.4.4.8 Work Yard

Shared Facilities: Housing Maintenance Building

Description	
Description	Work Yard
Quantity	One
ASF	
Number of	Full Time: N/A
Occupants	Part time:
Adjacency Requirements	Outdoors
Activities	
Days of use	Weekdays: 5
	Weekends: 2
Hours of use	5 pm – 12 am Monday – Friday
	8 am – 12 am Saturday - Sunday
Ceiling Height	N/A
Finishes	***************************************
Floor	Gravel / Concrete / DG
Base	N/A
Walls	N/A
Ceiling	N/A
Sightlines	No Special Requirements
Doors	Roll up garage door
Windows	See General Facility Data
Storage	No Special Requirements
Signage	See General Facility Data
Security	See General Facility Data
Special Requirements	Compressed air
Future Considerations	No Special Requirements
Systems	สถางของกลางส่วนของกลางกลางสามากของกลางของกลางกลางกลางกลางกลางกลางกลางกลางกลางกลา
Mechanical	No Requirements.
Plumbing	Exterior hose bibs
Lighting	Area lighting required, building mounted and/or standards
Power	Exterior outlets
Communications	
Data	No Requirements
Telecom	No Requirements
Video	No Requirements
Acoustics	No Special Requirements

Room Contents Group I Built-ins	No Requirements
Group II	·
Movable-Equip.	No Requirements
Furnishings	No Requirements

#### Plan per code.

DPP November 2003

DPP November 2003

7.0 Appendix

## 7.0 APPENDIX

The Appendix contains additional information on the project.

## 7.1 MEETING SCHEDULE AND CONFERENCE REPORTS

Date	Time	Attendees	Subject
May 29, 2003	9:00-12:00	UCR Project Programming Committee, RLB	Workshop #1: Child Development Center and Recreation Fields
June 10, 2003	10:00-12:00	UCR Project Management Team, RLB	Infrastructure
		RLB Consultant Team	
		City of Riverside Public Works Department Staff	
June 12, 2003	8:30-9:00	UCR Project Management Team, RLB	Management Team Meeting
	9:00-12:30	UCR Project Programming Committee, RLB	Workshop #2: Child Development Center and Recreation Fields
June 26, 2003	8:00-9:00	UCR Project Management Team, RLB	Management Team Meeting
	9:00-12:30	UCR Project Programming Committee, RLB	Workshop #3: Family Student Housing
		UCR Family Student Housing Residents	
	1:00-2:00	UCR Project Management Team, RLB	Tour of Existing Family Student Housing
July 10, 2003	9:00-9:30	UCR Project Management Team, RLB	Management Team Meeting
	9:30-12:00	UCR Project Programming Committee, RLB	Workshop #4: Family Student Housing
	1:30-3:00	(above, Dan Johnson)	Delivery Method
			Submit Administrative Draft DPP
July 14, 2003	10:00-12:00	UCR Facilities Management, Security , Parking, Project	Infrastructure
		Management Team, City of Riverside Public Works, RLB	
		Consultant Team	
July 28, 2003	10:00-12:00	UCR Project Management Team, Dan Johnson,	Review Cost Estimate
		RLB, DLÁ	
August 29, 2003	10:00-11:00	UCR Project Management Team, RLB	Draft Review & Submittal
September 25, 2003			Draft Submittal
October 7, 2003	11:00-2:00	UCR Project Management Team, DRB, RLB	Presentation to DRB
October 21, 2003	10:00-12:00	UCR Project Management Team, DRB, RLB	Presentation to CPEC
October 25, 2003	N/A	N/A	Submit Final DPP
January, 2004			Regents Review

Figure 7.1-1: Meeting Schedule Table

A Project Management Team Meeting preceded each workshop.

The Conference Reports of each meeting, as well as pertinent conference calls, of the West Campus Family Student Housing DPP are included for reference.

	The following represents a summary of our conference. It will be presumed to be correct unless we are notified within seven (7) days of issuance.							
Project Referen Project No.: Date Submitted Submitted by: This Confirms (	RLB #	#200303 (UCR # /03 revised 5/27/0 Valsh		USING DPP				
		Date: 5/20/03	Time: 9:00 AM	Place: UCR				
Persons Attend	ding:							
UCR UCR UCR UCR	Susan Marshburn Andy Plumley Fernand McGinnis Nita Bullock		UCR UCR UCR UCR	Kieron Brunelle Tony R. Lees Lindy Fenex Ryan Graham	UCR RLB RLB RLB	Judy Wood Rebecca Binder Kim Walsh Maya Lexa		
Distribution:	Kieron Brunelle (for distril	oution)						
Subject:	Project Conference #1							
Item: Descri	iption: Resp	<u>onsibility: Da</u>	te:					

1.0 RLB presented three mounted graphics to INFO introduce the scope of the West Campus Family Student Housing DPP (see attached). The following was indicated:

- 5/30/03 UCR 1.1 Potential variances between the West Campus Area Plan and the Strategic Plan for Housing with respect to site density and the site area for the project were discussed. The total acreage for Phase I and unit density per acre will be revisited. UCR will resolve and direct subsequent to a scheduled conference call between respective consultants.
- 1.2 The orientation of flats and townhouse plan INFO types to the internal park of the Family Student Housing site was confirmed. Flats will orient out, townhouses will orient into the park.
- 1.3 A one bedroom flat will be added to the Family INFO Student Housing plan types.
- 1.4 Unit mix will be tested from that presented in INFO program model.
- Through this planning process, the project 2.0 INFO budget will be tested. UC system funding ratios, site development/utilities, parking, etc. will be included.
  - 2.1 Campus parking standards and priorities will UCR be tested with respect to spaces per unit, efficiency (i.e. "residential feel" street parking (parallel) versus 90 degree and surface lots, visitors space criteria, drop-off, loading and activity parking at Child Development Center and Recreation Field areas. UCR to provide direction.

- 3.0 A capacity of 144 students at the Child INFO Development Center was confirmed and Title 22 minimum (outdoor area standard of 75 square feet per student) was confirmed. The Campus would like to exceed the Title 22 indoor minimum of 35 square feet per student.
  - Per UCR's request, kindergarten program is to INFO 3.1 be included in the Child Development Center.
  - 3.2 Staff and parent parking and drop-off are to be UCR discussed and standards established at the next Child Development Center workshop.
  - INFO 3.3 The 1.5-acre site is confirmed.
- 4.0 Each of the Recreation Fields is being INFO conceived per the Strategic Plan as 55 x 100 vards; 60 x 110 vards was discussed. The baseball and outdoor basketball functions are to be omitted from the Recreation Fields program.
  - 4.1 A future 55,000-60,000 square feet Recreation UCR Facility is planned for the site (2007). UCR is to direct re: Outdoor pool facility and how this will affect Phase I DPP.
  - 4.2 The 10.3-acre Recreation Facility (fields and INFO building) site was confirmed. This area will be tested by the DPP.
  - 4.3 A storage facility function will be added to the RLB Recreation Fields program.
  - 4.4 Public toilets will be added to the Recreation **RLB** Fields program.

6/23/03

RLB

5.0	DPP data sheet surveys for the Child	RLB	5/2/03	6.4	DELIVERABLES:
	Development Center and Recreation Fields programs were distributed and discussed.				Administrative Draft: July 10, 2003
	RLB will add room finish prompters to the				Draft DPP: July 23, 2003
	surveys and transmit for distribution.				Final DPP: August 22, 2003
6.0	The project schedule was discussed. UCR responses to Child Development Center and	UCR	5/26/03		WORKSHOPS:
	Recreation Fields data surveys will be complete on or before 5/26/03 and sent to			Brainstorming Session I-Child Development Center and Recreation Fields: May 29, 2003	
6.1	RLB. RLB will e-mail housing data surveys to UCR	RLB	5/21/03		Synthesis Session II-Child Development Center and Recreation Fields: June 12, 2003
	for edits by end of day $5/21/03$ .				Brainstorming Session III-Housing: June 26,
	(completed 5/20/03)				2003
6.2	UCR will return by e-mail housing data survey	UCR	5/22/03		Synthesis Session IV-Housing: July 10, 2003
	edits by 5/22/03.				NEAR TERM:
6.3	Revised and updated housing data surveys will be e-mailed to UCR for distribution by 5/27/03. All e-mail files will be formatted for	RLB	5/27/03		Distribution of Child Development Center and Recreation Field Surveys: May 20, 2003
	revision marking.				Completion of Child Development Center and Recreation Field Surveys: May 26, 2003 (tentative)
					Distribution of Housing Surveys: May 27, 2003
					Completion of Housing Surveys: June 5, 2003

Schedule for Field Trip, Site Visit: May 29, 2003 @ 12:30 PM.

END OF CONFERENCE REPORT

The following represents a summary of our conference. It will be presumed to be correct unless we are notified within seven (7) days of issuance.								
			Ident Housing DP UCR #956315-1)	Ρ				
		Date: 5/29/03	Time: 9:00 AM	Place: UCR D&C	S J2			
Persons Attending:								
UCR UCR UCR UCR UCR UCR UCR <b>Distribu</b>	Susan Marshburn Andy Plumley Fernand McGinnis Nita Bullock Kieron Brunelle Lindy Fenex Judy Wood Kieron Brunelle (for distribu		CR Tony CR Tom CR Mike CR Stev CR Rom	e Stearns Lees Schofield Eason en Thiele an Bosquez neth Ubom	UCR UCR UCR UCR RLB RLB	Jeanette Bradeen Susan Johnson Celia Rivera Dale Bailey Rebecca Binder Kim Walsh		
Subject	: Workshop #1: Recreation F	ields & Child Deve	elopment Center					
Item:	Description: Respon	sibility: Date:						
1.0	The following general overview issu indicated:	ues were info		1.1	The West Campus Area Plan parking spaces per Family Stud unit. Currently parking is per un parking.	lent Housing		
				1.2	Development of the South Mall r	nay not need Info		

to be included in Phase I. Grove irrigation however must be maintained and protected.

- 1.3 Child Development Center should remain at Info site adjacent to Iowa.
- 1.4 General public telephones or ATM machines Info will not be provided by this project.
- A community room function should be UCR included. UCR will provide further direction and respond to the DPP questionnaire for this program.

(Subsequent Conference Call on Friday, May 30, 2003 opened possibility of this being permanently within the Recreation Facility and temporarily in a Model Townhouse.)

- 1.6 Definition of the site area and boundaries will UCR be revisited. UCR will provide direction.
- 1.7 The recreation fields program usage is Info primarily weeknights, Sunday through Thursday. Club sport usage is generally on the weekends.
- The fields will be open for use, by students Info only, during the day. Curfew is at 11 PM. Access control (fencing, card key) will be required.
- 1.9 The Child Development program components Info should generally replicate and refine the existing 144 student Child Development Center.
- 2.0 The following was indicated during the info Recreation Fields discussion:

- 2.1 The Recreation Department's existing 85,000 Info square foot facility has approx. 92 spaces. Twice that amount is desired for this facility. Double loaded parking at the north and east of the field area was schematically presented. Bike parking should be accommodated.
- 2.2 (4) 66 x 120 yard Field areas are programmed RLB as indicated by the recreation staff. The fields and lighting are to be programmed to allow (2) softball fields. The height and location of light standards is to be reviewed to determine likely extent of "light pollution" to adjacent functions.
- 2.3 Summer camp will be a potential activity Info during the summer semester.
- 2.4 All parking lot areas must conform to campus Info security lighting and telephone standards. Bus and shuttle drop-off / parking should be addressed by the fields parking area function.
- 2.5 UCR (Lindy Fenex) will provide additional UCR input regarding recreation department requirements for the field area including desired character of field construction.
- 3.0 The following was indicated during the Child info Development Center discussion:

- 3.1 The facility should address both external UCR (public) and internal (housing units) access paths. Public access drop-off and parking should be from the Northwest Mall. Traffic breaks in the median strip will need to be revisited by Mall designers.
- 3.2 The facility should be sited to provide Info physical, visual and sound barriers to street traffic and maximize passive solar shading.
- 3.3 All facility access points will be security Info controlled and all facility program functions will be within the main Entry Lobby/Reception security point.
- 3.4 Various Program function adjacencies were Info discussed. RLB will incorporate these comments into the facility and function data sheets for UCR review and an adjacency bubble diagram.

3.5 An Extended Day Care Center UCR (EDCC)/Community Room function (60 occupants max., 1,000-1,200 square feet) was discussed (this function would satisfy the Multi-Purpose program). Access, toilet room, kitchen and other specific program requirements will need to be determined. (The Community Room function may be included in Phase I as a temporary solution

(Completed Surveys for Community Room function received by RLB 05/30/03.)

per conference call 05/30/03. EDCC is TDB.)

- 3.6 Multi-use Community Room/Extended Day Info Care facility was discussed.
- 3.7 UCR indicated that the Maintenance Storage Info Room function of the Child Development Center duplicates the Recreation Fields Maintenance Storage Room function. A Maintenance Storage Room is not needed in both facilities.
- 4.0 UCR will consider EDCC for Phase II Center RLB based on its not including a kindergarten, allowing area for an EDCC.

END OF CONFERENCE REPORT

	The following represents a summary of our conference. It will be presumed to be correct unless we are notified within seven (7) days of issuance.						
Project Date Su Submitt	bmitted:	Family Student Hous RLB #200303 (UCR 06/03/03 Rikki Binder versation of					
		Date:	Time:		Place:		
Persons	s Attending:	5/30/03	11:0	0 AM	TELEPHO	NE	
UCR UCR UCR	Susan Marshburn Nita Bullock Kieron Brunelle		BMS HEWV	Barbara Kenneti	a Mahoney n Hall	HEWV Jane Wright RLB Rebecca Binder	
Distribu	Distribution: Kieron Brunelle (for distribution)						
Subject	: Project Conferen	ce Call #1					
Item:	Description:	<u>Responsibility:</u>	<u>Date:</u>				
1.0	The UCR clarification no West Campus Area Plar Strategic Plan for Housi potential variance between	(WCAP) and the ng (SPFH) and a the WCAP and the	nfo		1.1	The site due north of the Child Development Info Center (CDC) in Phase I and due south in Phase II are to be deemed Family Student Housing sites and not apartment sites.	
	SPFH with respect to site area for the project were di					The total acreage for Phase I and unit density Info per acre were reviewed. The 10% overage was not considered a significant variance from the planners' point of view. The LRDP would	
					1.3	reflect the higher density. The overall ratio of 2 to 3-story building Info	

masses will be revisited: All flats at 3 stories, townhouses at 2 stories.

- 1.4 The CDC site is to be 1.5 acres (not 3.0). info
- 2.0 Housing units were discussed. Info
  - 2.1 The orientation of plan types to the internal Info neighborhood park of the Family Student Housing was confirmed. Flats will orient out, townhouses will orient into the park.
  - 2.2 A one bedroom flat will be added to the Family info Student Housing plan types. (The basis of design includes 75% three story flats and 25% two story townhouses per the discussion.)
  - 2.3 Planners tested the unit mix from that UCR presented in the program model. The basis (Hall) for the model will be sent to RLB in AutoCAD for DPP use.
- 3.0 Parking was discussed. Info
  - 3.1 The Campus Planners assumed one car per Info Family Student Housing unit, including visitor parking.
  - 3.2 Everton Place parking was included in this Info count, as well as several "pocket" parking areas.

- 3.3 Campus parking standards and priorities will UCR be tested with respect to spaces per unit, efficiency i.e. "residential feel" street parking (parallel) versus 90 degree and/or surface lots, visitors' space criteria, drop-off, loading and activity parking at the Child Development Center and Recreation Field areas. UCR to provide direction.
- 3.4 Parking count for the Recreation Fields is to Info be re-evaluated through the DPP and budget re-addressed.
- 3.5 Staff and parent parking and drop-off at the UCR CDC are to be re-visited.
- 4.0 Recreation Fields site was discussed. Info
  - 4.1 Each of the Recreation Fields is to be Info programmed at 65 x 120 yards with no rotation to be accommodated.
  - 4.2 The Northwest and Southwest Malls will be UCR set in context by the planning parameters of the fields and the apartment site to the east of lowa. KH to transmit CAD drawing to RLB defining this.
  - 4.3 A future 55,000-60,000 square feet Recreation UCR Facility is planned for the site, adjacent to the fields (2007) and may provide for a Resident Services Office, community room, maintenance storage and public restrooms. In Phase I, these functions may be accommodated in a temporary facility and/or a townhouse. TBD.
  - 4.4 The 10.3-acre Recreation Facility (fields and Info

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building) site was confirmed (not 12.3 acres).

- 5.0 Vehicular access was discussed. Info
  - 5.1 Through traffic is an issue with differing points Info of view. Some diagrams indicate through access to Iowa Avenue from the Housing "block."
  - 5.2 Resolution of through traffic and fire access is UCR required.

END OF CONFERENCE REPORT

7.0 Appendix

	lt will			ents a summary of our conference. ss we are notified within seven (7) c	lays of issuance.	
Project Date Su Submitt	Ibmitted:		Family Student H (UCR #956315-1			
	minins our Personal Comerence of	Date: 6/10/03	Time: 1:30 PM	Place: UCR Bannockburn J102		
Persons UCR UCR UCR UCR UCR Distribut Subject:	Υ.		UCR UCR UCR UCR UCR UCR	Scott Corrin Doug Lindberg Pat Simone Lance Danks Andrew Stewart Matt Jones	City of Riverside EWM ME RLB RLB	Sandy Cauldwell Eli Yomtov Frank Stefan Rebecca Binder Kim Walsh
<u>ltem:</u>	Description: Respon	<u>sibility:</u> Date	<u>:</u>			
1.0	RLB briefly presented the scope of the to help orient the attendees and estangoals for the meeting.		)			
2.0	The following was indicated re: sewer per the West Campus Area Plan (Wo 25):		)			

- 2.1 The proposed 12" sewer appears to cross RLB private property north of the west extension of Everton Place via a utility easement (identified during the meeting by Riverside Public Works staff-Sandy Cauldwell. Responsibility (UCR vs. Public Utility) is unclear, however standard procedure is for the developer a.k.a. campus to obtain the appropriate permits from the city regarding installation in the easement. The piping would become city property within the easement after construction and acceptance. The campus would retain ownership of the piping on campus. If this routing was not satisfactory, the campus should explore taking the piping west to Cranford Avenue. The 12" pipe would be installed in city right of way from the northern campus boundary to University Avenue. The distance for the 12" pipe would be twice the length of the original route if taken west to Cranford and then north to University.\* Responsibility, routing and easements need to be resolved. Extent of accommodation of future phases is also unclear. UCR indicated that Bruce Thomas. Kennedy Jenks, (see conference report of June 11<sup>th</sup>) should be involved in this resolution.
- 3.0 The following was indicated re: Storm Drain INFO (S. D.) utilities per the WCAP (fig. 27):
  - 3.1 Phase one S.D. will most likely connect to INFO County Flood Control S.D. at MLK.

- 3.2 Resolution of existing (International Village) INFO drainage problems at Iowa Avenue is not part of this project. As is the case with any other re-mediation due to other projects.
- 3.3 Riverside County is responsible for overseeing INFO of storm water retainage, not the City.
- 3.4 There was discussion of utilizing the EWM recreation fields to satisfy on-site retainage / recharge. This will require further analysis by Civil.
- 4.0 The following was indicated re: Street Traffic: INFO
  - Per UCR, current four-lane Iowa Avenue INFO 4.1 traffic from the north terminates at Everton.
  - 4.2 Per UCR, discussions with City of Riverside UCR regarding the extent of, and responsibility for, traffic infrastructure improvements will begin soon (2-3 weeks). Sidewalk, curb and gutter, and street lighting standards / requirements as well as an additional (N.I.C.) traffic lane will be part of this discussion. However, the consultants should assume half width street improvements including median, curb gutter, sidewalk and streetlights. The only issue to be discussed is the number of traffic lanes in each direction, one (LRDP) or two (city).
- 5.0 The following was indicated re: Domestic INFO Water utilities per the WCAP (fig. 28):

- 5.1 Domestic Water will be supplied by City of INFO Riverside Public Utilities –Water Division (Contact: Kevin Mulligan). The West Campus water system will not be connected to the East Campus water system. New connections will need to be established through City connections. See LRDP and WCAP for more information.
- 5.2 Sizing of the domestic water mains (per the EWM WCAP figure) will be verified by civil.
- 6.0 The following was indicated re: Electricity INFO utilities per the WCAP (fig. 30):
  - 6.1 The long-range plan for the West Campus is INFO to be connected to the Campus 12 kV substation.
  - 6.2 Constructibility and future provisions for the UCR duct bank feed to the campus substation require review. In the long term the project requires campus electric rates. Lower first cost solutions (tapping into city power OH line currently at lowa) with phased tap into campus system should be reviewed. UCR will provide City vs. Campus rates for analysis.
  - 6.3 Project metering will be established by the M-E DPP. MEHA to provide housing with pros and cons.
- 7.0 Communication system, the following was INFO indicated:

- 7.1 Connection to the campus fiber optic loop is UCR essential to the project. Fire alarm, security, and energy management systems all rely heavily on this connection. The fiber optic loop must extend to the new Maintenance Building. UCR will provide future direction / information.
- 7.2 UCR identified (4) 4" conduits stubbed at the INFO corner of Iowa Avenue and Everton Place. These conduits will be used to connect to campus telephone and fiber data systems. All facilities within this project will be on the Campus phone system.
- 7.3 Cable service will be extended from the public INFO street. The local cable company is Charter Cable Co. UCR may make arrangements to buy bulk cable rates.
- 8.0 The following was indicated re: gas utilities per INFO the WCAP (fig. 29): Medium pressure gas is located in both University Ave. and Martin Luther King Blvd.
- 9.0 The following was indicated re: Fire INFO Department access and Hydrants per the WCAP (fig. 79):
  - 9.1 Access on a 20' wide (minimum) road, with all INFO weather surface, is required throughout the project for Fire Department vehicles.

- 9.2 Access is required such that every point of INFO every structure is within 150' "hose length" of a Fire Department access road. Fencing and heavy landscape elements must be included in the hose length requirement.
- 9.3 Fire Department access roads exceeding 150' INFO in length must be "through" access roads or must have approved turn-arounds.
- 9.4 UCR will provide direction regarding internal UCR site and street access points and access control criteria.
- 9.5 All structures shall be fully sprinklered and fire INFO hydrants shall be located using the 150' "hose length" rule (see item 9.2 above).
- 10.0 The following was indicated re: metering INFO
- 10.1 The discussion on metering focused on UCR's M-E requirement to retain their current favorable electricity rate structure. Similarly for gas, the issue of metering pros versus cons was summarized. ME Engineers. Will forward pro vs. con matrix for UCR review.

END OF CONFERENCE REPORT

	The following represents a summary of our conference. It will be presumed to be correct unless we are notified within seven (7) days of issuance.						
Project Reference:       West Campus Family Student Housing         Project No.:       RLB #200303 (UCR #956315-1)         Date Submitted:       06/13/03         Submitted by:       Rebecca Binder         This Confirms Our Telephone Conversation of       Image: Conversation of Conversation Conversa							
	I	Date: 5/11/03	Time: 4:30	Place:			
Persons	s Attending:						
UCR	Kieron Brunelle		RLB	Rebecca Binder			
Distribu	tion: Kieron Brunelle (for distribution	ו)					
Subject	Infrastructure and Scope						
Item: [	Description: Responsib	ility: <u>Da</u>	ate:				
1.0	RLB indicated the following base telephone conference 6/11/03 (Kieron, F		ō		1.2	The 12 KVA substation available capacity should be verified. The East Campus may already take all four circuits. UCR has	UCR
1.1	Regarding existing and pro infrastructure, the Long Range Develo	posed Int	fo			scheduled a meeting for July 10 <sup>th.</sup> To verify.	
	Plan (LRDP) takes precedence over the Campus Area Plan (WCAP).				1.3	A sewer right-of-way exists where shown in WCAP sewer figure. Civil should verify this with City of Riverside.	EWM

- 1.4 Gas lines point-of-connections are in conflict Info between the LRDP and WCAP. Civil should verify with the Gas Company. The LRDP shows proposed POC where WCAP shows existing POC. Clarification is needed as to what constitutes an existing vs. proposed POC.
- 1.5 RLB is to use the following information priority Info when conflicts exist: #1-LRDP (1990 & 2003),
   #2 WCAP, #3 Strategic Plan for Housing.
- 1.6 Regarding vehicle access infrastructure, Info access drives internal to the housing project will not go through to Iowa Avenue. Only the westward extension of Everton Place and the Northwestern Mall and the Southwestern Mall will access Iowa. These will be campus streets (not city streets).
- 1.7 UCR confirmed that a Maintenance Building Info will be included in the West Campus Housing Phase I project.
- 1.8 UCR confirmed that the Multi-purpose Room Info and Housing Administration function will be in a separate structure located in the Family Student Housing parcel.

END OF CONFERENCE REPORT

	lt will			sents a summary of our conference. ess we are notified within seven (7) da	ays of issuance.			
Project Reference: Project No.: Date Submitted: Submitted by: This Confirms Our Personal Conference of								
1113 00		Date: 6/12/03	Time: 8:30	Place: Bannockburn J102				
Persons	s Attending:							
U U U	CR Andy Plumley CR Susan Marshburn CR Dan Johnson CR Steve Stevens CR Jeanette Bracken		UCR UCR UCR UCR UCR	Fernand McGinnis Nita Bullock Kieron Brunelle Tony R. Lees Lindy Fenex	UCR RLB RLB RLB	Judy Wood Rebecca Binder Kim Walsh Maya Lexa		
Distribu Subject	Υ.		d Recreation Fie	lds				
<u>ltem:</u>	Description: Respon	<u>nsibility:</u> Date	<u>:</u>					
1.0	RLB summarized scope and infra resolutions per 6/11/03 telect (distributed earlier).	astructure Info onference			oment Plan). Housing en for manipulation.	streets		
2.0	UCR will review traffic access co provide direction regarding veh pedestrian access control criteria.		2					
2.1								

- 3.0 The Fields Maintenance Facility location was info reviewed. UCR indicated that the facility shall be located adjacent to the Support parcel on part of a 4.0 AC parcel, northwest of the Recreation Fields and the Northwest Mall.
- 4.0 RLB presented an adjacency diagram of the info Child Development Center (CDC) for comment. The following was indicated:
  - 4.1 All facility functions beyond the Entry Drop-off info area shall be within the security access control boundary.
  - 4.2 All Pre-school and Kindergarten Classrooms info are to be provided IT ports.

- 4.3 The CDC parking area shall provide (30) info staff/parent parking spaces. (20) additional staff parking spaces shall be located within the Recreation Fields parking area.
- 5.0 RLB presented a Recreation Field diagram for info comment. The following was indicated:
  - 5.1 The fields program currently includes (4) UCR soccer fields and (2) softball fields. The negative impact of the softball fields on lighting and turf configuration for all fields was raised. The project will proceed with (2) softball fields in the program. UCR will review this function.
  - 5.2 UCR (Lindy Fenex) will provide additional UCR criteria for field construction.

END OF CONFERENCE REPORT

#### The following represents a summary of our conference. It will be presumed to be correct unless we are notified within seven (7) days of issuance. West Campus Family Student Housing Project Reference: RLB #200303 (UCR #956315-1) Project No.: Date Submitted: 07/01/03 Submitted by: Kim Walsh This Confirms Our Personal Conference of Date: Time: Place: 6/26/03 Bannockburn J102 8am **Persons Attending:** Andy Plumley Kathleen Montgomery UCR UCR UCR Joel Beutel UCR Susan Marshburn Abby Juhasz UCR UCR Mark Schlenker Joon Ho Hwang UCR Nita Bullock UCR RLB Rebecca Binder UCR Kieron Brunelle UCR Tom Schofield RLB Kim Walsh UCR UCR Tony R. Lees Jamie Whiteford RLB Elizabeth Silver UCR Steve Stearns UCR Claudette Brewer RLB Maya Lexa UCR Mingxin Guo UCR Jeanette Bradeen Distribution: Kieron Brunelle (for distribution) Workshop #3: Family Student Housing Subject: Item: Description: Responsibility: Date: The following general items were indicated info RLB indicated that the parking and building info 1.0 1.1 siting were being tested and that "pocket prior to the formal meeting agenda: parking areas" within the housing site would probably be required.

1.2 UCR indicated that quality green space is a info

#### site priority.

- 1.3 The project density of 30 units per acre was info reiterated.
- 1.4 RLB presented a color-coded Parcel Map for info review. Per UCR direction, the Maintenance parcel shall be located on a housing parcel (not on but adjacent to the support parcel), and apartment housing parcels shall be indicated as "housing" parcels only.
- 1.5 RLB requested clarification of the width of the UCR buffer zone to Martin Luther King Boulevard. UCR will review and provide direction.
- 2.0 UCR introduced background, goals and info schedule for the programming phase of the project.
- 2.1 RLB outlined the process and goals of the info workshop.
- 2.2 The planned density of the project was info reiterated and parcel adjacencies were reviewed.
- 3.0 Housing room layout and surveys were info discussed and individual room data sheets were in-filled based on the general consensus of attendees' responses.

- 4.0 Regarding the general unit layout, the info desirability of one-bedroom units was discussed. UCR indicated that two bedroom units are preferred but cost versus rent would be the determining factor (+\$100/mo. was cited as the break point). Further study is required.
- 5.0 Regarding the entry/living/dining room, RLB consensus was not reached with respect to the degree of separation to the adjacent kitchen. A desire for an open spacious interior environment conflicts with a desire for a definite visual food preparation and odor barrier. An adaptation feature, perhaps a removable panel within the casework module, should be incorporated into the DPP.
- 6.0 Regarding the kitchen; see item 5.0 above, info consensus was not reached on the provision of a dishwasher, and full size, stacked washer/dryer was desired. Requirements for dishwasher and washer/dryer will be included in the DPP (items are group 2/3 for cost purposes).
- 7.0 Regarding the master bedroom, children's info bedroom and patio; consensus was reached on all issues discussed. The DPP will be infilled accordingly.

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- 8.0 Regarding the bathroom: one bedroom units info (not included in Phase I) will receive one bathroom, two bedroom units will receive 1-1/2 bathrooms, three bedroom units will receive 1-3/4 bathrooms. No bathrooms will be dedicated use (i.e. for master bedroom use only) and compartmentalization will be noted for study in the Design Phases.
- 9.0 Hard water was noted by UCR as a problem M-E throughout the campus. This issue should be addressed by the DPP.

END OF CONFERENCE REPORT

7.0 Appendix

7.0 Appendix

#### R. L. BINDER, F.A.I.A. **ARCHITECTURE & PLANNING** 7726 81st Street, Playa Del Rey, California 90293, 310.301.0260

Project Reference: Project No.: Date Submitted: Submitted by: This Confirms Our Personal Conference of			ous Family H 03(UCR #9				
		Kim Walsh					
		Date: 7/10/03	Tim 9:00		e: R Bannockburn J102		
Persons /	Attending:						
UCR	Susan Marshburn		UCR	Steve Stearns	UCF		
UCR	Andy Plumley		UCR	Abby Juhasz	UCF	,	
UCR	Fernand McGinnis		UCR	Jamie Whiteford	UCF		
UCR	Kieron Brunelle		UCR UCR	Jeanette Bradeer Joel Beutel	UCF		
UCR UCR	Tony R. Lees		UCR	Michelle Beutel	RLE		
UCR	Lindy Fenex Mingxin Guo		UCR	Mark Schlenker	NLE		II
Distributi	on: Kieron Brunelle (for distribu	tion)					
Subject:	Housing Workshop #4						

- 1.0 RLB presented a brief overview of the project info and the goals of the current workshop. The following was indicated.
- 1.1 Phase 1 of the West Campus Area Plan info (WCAP) will include development of 7 Housing parcels with approximately 368 units. All units will have two-story massing.
- 1.2 The housing parcels will provide one parking info space per unit inside the parcel perimeter and 0.5 space per unit outside the perimeter on adjacent streets and Recreation field area. Accessible car and van parking spaces will also be provided in compliance with ADA.
- 1.3 Community Center, Child Development and info Recreation Fields facilities locations and programs were identified. Phase 2 program facilities were briefly explained.
- 2.0 Room layout kits distributed subsequent to INFO last housing workshop were discussed. The following was indicated:
- 2.1 Prior to this session, several student INFO participants completed layouts for various rooms. While none of the specific layouts were discussed, the general consensus was that even the minimum areas proposed would accommodate the student family needs.
- 2.2 Rental rates were reiterated as a primary INFO concern.
- 2.3 The following items were proposed as "wish DLA list" additive items for cost consideration: kitchen appliances (dishwashers, microwaves, washer / dryers, fully vented range hoods), bathroom quantities, unit area reductions.
- 2.4 UCR indicated that all units shall be air INFO

conditioned.

	conditioned.	
3.0	A project site diagram was presented and program component siting / master planning was discussed. The following was indicated.	INFO
3.1	The desired project density of 30 units per acre is achievable with two story massing as presented.	INFO
3.2	By consensus, all bedrooms in townhouse units will be on the second level.	INFO
3.3	2/3 two bedroom and 1/3 three bedroom will be the unit mix target per UCR.	INFO
4.0	Discussion on "shared facilities" indicated the following:	INFO
4.1	Facilities proposed for the neighborhood parks were swimming pool, water park, covered picnic area, public toilets, and ample landscaping.	DLA
4.2	Each housing parcel will have a fenced tot lot area with apparatus for younger children.	DLA
4.3	Regarding gated security fencing at housing perimeter, consensus was not reached. Fencing will be estimated as an additive item.	DLA
4.4	Personal storage facilities, other than a small closet within each unit, will not be provided per UCR.	INFO
4.5	Each unit will be provided some form of covered outdoor patio / deck space. The feasibility of providing a community garden will be explored.	DLA

- 4.6 Covered (under stairways) bicycle racks were DLA requested.
- 4.7 Community Center functions were discussed UCR and the facility/room data sheets will be included in the DPP. (Several room data sheets are outstanding).

				represents a summary of c t unless we are notified wi	ur conference. thin seven (7) days of issuance	•		
Project Date Su Submitt	Project Reference: Project No.: Date Submitted: Submitted by: This Confirms Our Personal Conference of		Family Housii (UCR #95631					
This Confirms Our Personal Conference of		Date: Time: 7/10/03 1:30 PM		Place: UCR F10	1			
Persons	Attending:							
UCR UCR UCR	Susan Marshburn Andy Plumley Fernand McGinnis	l	JCR JCR JCR	Kieron Brunelle Dan Johnson Tim Ralston		DLA RLB RLB	Sam Kelbri Rebecca Bi Kim Walsh	
Distribu	tion: Kieron Brunelle (for distribut	ion)						
Subject	Project Delivery Methods							
Item:	Description:	Responsibility:	<u>Date:</u>					
1.0	The project will be financed by traditio			2.2	Multiple Prime bids (ide	entified as rout	tine).	INFO
2.0	University of California (UC) system m University of California Riverside (UCI summarized the following potential pro delivery methods:	R) INFO		2.3	Modified Design / Build bidders, documents an G.C. (UCR is <i>investiga</i> method for this project)	d project com ting or enterta	pleted by	INFO
2.1	Design / Bid / Build (identified as routi	ne). INFO						

- 2.4 CM at Risk (DD documents to G.C. With INFO negotiated project costs).
- 3.0 Union (prevailing wage) is required at UCR. INFO
- 4.0 This project will be submitted to the Regents INFO in November 2003.
- 5.0 A cost meeting, potentially including INFO Structural, M/E/P, and Civil consultants was proposed. A meeting has been scheduled by RLB / UCR for 7/28/03.
- 6.0 UCR reiterated the importance of verifying the MEHA utility capacities assumed.
- 7.0 Infrastructure costs are to be separately DLA assigned to the project components (Housing / CDC / Fields).
- 8.0 The Draft DPP will not be issued until so INFO directed by UCR (5 working days minimum notice).

		It will be presu	The following repr umed to be correct un	esents a summary of our conference. less we are notified within seven (7) days	of issuance.												
Project			West Campus Family Housing RLB #200303 (UCR #956315-1)														
Date Submit Submitted b		Kim Walsh	Kim Walsh														
11113 00		Date: 7/14/03	Time: 9:30 am	Place: UCR D&CS F101													
Persons	s Attending:																
UCR UCR UCR UCR	Susan Marshburn Fernand McGinnis Kieron Brunelle Lindy Fenex		UCR UCR UCR UCR	Tim Holmes John Peraino Matt Jones Jeff Adams	UCR MEHA MEHA RLB	Enrico Baez Sean Hira Frank Stefan Kim Walsh											
Distribu	tion: Kieron Brunelle (for distribution)	ution)															
Subject	: M/E/P Conference																
<u>ltem:</u>	Description:	Responsibility	<u>/: Date:</u>														
1.0	The following was indicated relative t Housing component:	to the info	)														

- 1.1 A split system with hydronic heat (from info domestic water heater) with recirculation pump is favored by UCR due to their familiarity with these systems elsewhere on campus. Per UCR, only a plumbing tradesman can service these systems. A 50-gallon gas fired water heater is preferred 1.2 info for each unit. UCR prefers these are to be located at grade level. Per UCR the following utilities should be 1.3 info metered: gas. electrical. Power metering option matrix with four options presented to UCR. 1. Whole facility. 2. Each building. 3. Each housing unit by Utility Company. 4. Each housing unit by University. Option 3 was selected by UCR. Gas appliances are favored to provide the 1.4 info most economical and reliable service. Water softening is not favored by UCR. Water RLB 1.5 heaters should be located at the ground level for all units for ease of service and replacement. A utility closet with vertical HVAC AC unit is MEHA 1.6 preferred over soffit mounted equipment due to ease of access for maintenance and
- 1.7 A telephone switch room with emergency UCR generator will be needed at the Fields Maintenance building. UCR will provide room data sheets (sent 7/17/03 for distribution).

servicing.

UCR 1.8 Site lighting throughout the project will be based on the Pentland standards. UCR will provide. 1.9 Housing unit carbon monoxide (co) sensors DLA will be estimated as a "wish list" item for enhanced safety. 1.10 All Facility security systems will report back to MEHA the Security station at the Pentland project. UCR prefers integral battery system in lieu of 1.11 info generator for the emergency egress lighting requirement. 2.0 The following was indicated relative to the info existing Child Development Facility: 2.1 The facility has multiple split systems with info ground mounted condensing units and ceiling mounted fan coils. 2.2 The existing condensers were not provided info with adequate venting clearance resulting in multiple failures. 2.3 UCR prefers integral battery system in lieu of info generator for the emergency egress lighting requirement. 3.0 The following was indicated relative to the info **Recreation Fields component:** The Fields will be provided water, power, 3.1 info storm drainage, data / telecom, sewer utilities. 3.2 The Fields will require 30'-70' light standards. info 3.3 Portable toilets and drinking fountains will be DLA provide at the west end of the field area. The project will provide rough-in utilities only.

			It will be pres		eents a summary of our ss we are notified with	conference. in seven (7) days of issuan	ICE.							
Project Reference: Project No.: Date Submitted: Submitted by: This Confirms Our Person		e:		is Family Housing 3 (UCR #956315-1)										
		ur Personal Conference of	Kim Walsh	Kim Walsh										
			Date: 7/28/03	Time: 10:00 AM	Place: BANNOCKB	URN 101								
Person	s Attendi	ng:												
UCR UCR UCR		Susan Marshburn Andy Plumley Fernand McGinnis		UCR UCR UCR	Kieron Brunelle Dan Johnson Ted Chiu		DLA RLB RLB	Sam Kelbrick Rebecca Binder Kim Walsh						
Distribu	ution:	Kieron Brunelle (for distribut	ion)											
Subject	t:	Preliminary Cost Plan Revie	W											
<u>ltem:</u>	Descrip	tion:	<u>Responsibilit</u>	<u>y: Date:</u>										
1.0	indicate change	mmarized the scope of the pro d the following UCR requester s to that identified in the West an (WCAP):	ł	D	1.1	larger than originally	proximately four acres planned. Seven Housi veloped instead of fou	ng						

- 1.2 The Community Center is 6,400 sq. ft. and the UCR Fields Maintenance Facility is 3,000 sq. ft. (and not in the WCAP). RLB will send The current room data for these functions to UCR for review. (See 7/28/03 email)
- 1.3 Two neighborhood parks are included. info
- 2.0 DLA distributed copies of a preliminary draft DLA cost plan dated 7/18/03 and summarized the format and basis of the cost plan. The site utilities cost and project alternates will be further developed for the Draft DPP.
- 3.0 UCR indicated that the Maintenance, info Community, and Child Development Facilities costs are understood. Additional cost information for the Housing units was requested.
  - 3.1 UCR requested a matrix to clarify the cost RLB impact of alternate basic building systems. The systems suggested for review were the building shell (finishes, aesthetic issues) and M/E/P systems.
- 4.0 Various cost plan scope items were reviewed. info UCR indicated the following:
  - 4.1 Data telecom wiring is to be included in the DLA scope.
  - 4.2 G.C. and OH&P seem low. 12% was DLA suggested. The design contingency also seems low. 15% was suggested. DLA will review.
  - 4.3 Delete ceiling fans from scope. DLA

4.4	M/E/P systems cost / scope should be revisited. Specifically cited was fire alarm infrastructure.	DLA
4.5	Site Preparation shall include extensive tree removal. (No Hazmat).	DLA
4.6	Parking lot area costs shall be identified separately.	DLA
4.7	The fence enclosing the Recreation Fields shall be 6" chain link with card key access.	DLA
4.8	Delete street improvement scope at Cranston south of the Northwest Mall at the west end of the Recreation Field.	DLA
4.9	Include 1/2 of Iowa as a four-lane road.	DLA
5.0	The following schedule items were discussed:	info
5.1	The 7/31/03 site-planning meeting is cancelled.	info
5.2	The revised cost plan and matrix are due 8/14/03.	DLA
5.3	The Draft DPP is due 1st week in September if UCR revisions based on cost plan and matrix are minor. The Final DPP due date is to be determined.	info
5.4	The DPP presentation is scheduled for September 25.	info

		It will be pres	The following umed to be correc	represents a summary of our at unless we are notified within	conference. n seven (7) days of issuance.	
Project Reference: Project No.: Date Submitted: Submitted by: This Confirms Our Personal Conference of			is Family Housii 3 (UCR #95631 Time:			
		8/28/03	10:00 AM	M UCR-BANN	JCKBURN	
Persons	Attending:					
Persons Attending:UCRAndy PlumleyUCRSusan MarshburnUCRFernand McGinnis			UCR UCR	Nita Bullock Kieron Brunelle	RLB RLB	Rebecca Binder Kim Walsh
Distribu	tion: Kieron Brunelle (for distribut	on)				
Subject:	Draft DPP Overview					
ltem:	Description:	Responsibilit	<u>y: Date:</u>			
1.0	The Draft DPP will be due in 2-3 week will confirm the exact date and number copies required.		R	2.0	The 10/7/03 DRB and 10/21/03 C presentations will be "PowerPoint Project is scheduled to go to the P early 2004.	". The

- 3.0 Fencing of the Agricultural Fields (relocate RLB existing as required to maintain fields perimeter from Phase I project) shall be included in the DPP
- 4.0 RLB will provide a color code legend for Site Info Diagram 4.4
- 5.0 Reference to Recreation Fields construction RLB section shall be included in section 4.
- 6.0 General interface between electrical service MEHA POC at lowa and the potential future POC at a duct bank extension shall be addressed in section 5.
- 7.0 RLB will revise the dates indicated in figure RLB 1.3

### 7.2 SELECTED BIBLIOGRAPHY

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(Figure 7.2-2: Will Serve Letter)

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The University of California, Riverside, Office of Campus Planning, *Environmental Impact Report, Long Range Development Plan.* (July 1990).

7.0 Appendix

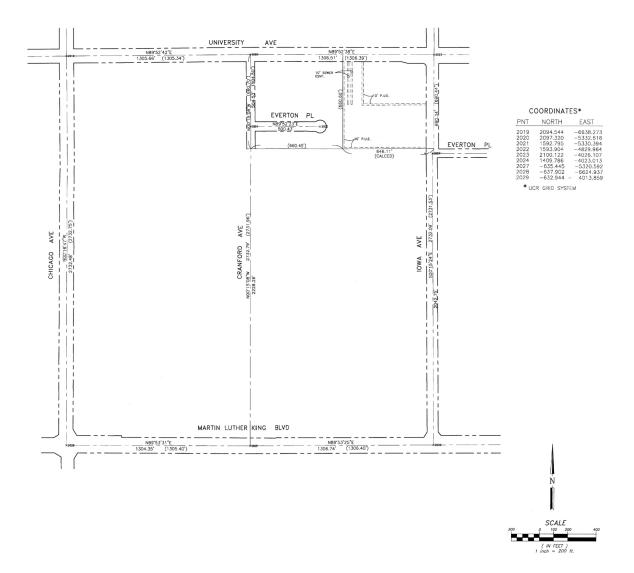


Figure 7.2-1: Boundary Survey, August 19, 2003

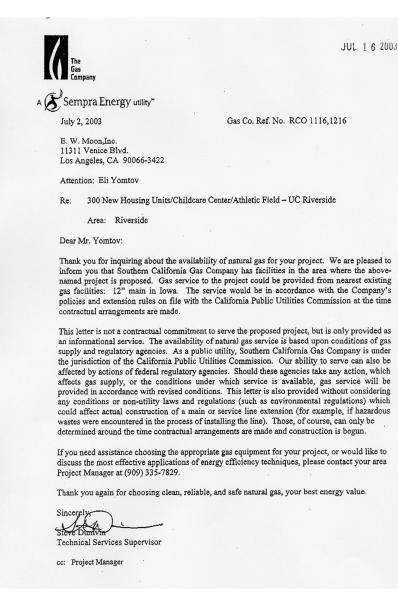


Figure 7.2-2: Gas Company Will Serve Letter

### 7.3 **PROJECT SCHEDULE**

#### UCR Project Schedule

# Project Schedule

### University of California, Riverside

Project:West Campus Family Student Housing ProjectProject Number:956313-1Date9/23/03

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DPP November 2003

### 7.4 BUDGET PLAN

UCR WEST CAMPUS FAMILY STUDENT HOUSING DETAILED PROJECT PROGRAM

7.0 Appendix

R.L. BINDER, FAIA ARCHITECTURE & PLANNING - 7726 81ST STREET - PLAYA DEL REY, CA 90293 - WWW.BINDERARCHITECTS.COM