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WEST CAMPUS FAMILY STUDENT HOUSING PHASE I DETAILED PROJECT PROGRAM



UNIVERSITY OF CALIFORNIA, RIVERSIDE

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This dedicated programming team was instrumental in envisioning and shaping the Family Student Housing community that will be an integral part of realizing UCR's goals. The dedication, vision and efforts of the programming participants have resulted in defining a cohesive, vibrant and important extension of UCR.

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1.0 Introduction

1.0 INTRODUCTION

This section contains a description of the overall project program.

1.1 **PROJECT SUMMARY**

The University of California, Riverside (UCR) plans for an increase in enrollment to 25,000 by the year 2015-2016 based on anticipated demand for higher education in California increasing over the next ten to fifteen years. The 1990 Long Range Development <u>Plan</u> (LRDP) accounts for an increase to 18,050 students by the year 2005-2006. The 2003 Draft LRDP, currently in the review process, reflects this change.

Essential to fostering this anticipated growth and the new goal of providing campus housing for fifty percent of the students, is the development of the West Campus, as well as expansion of the East Campus housing inventory. The development goal is to create a unified campus consisting of the East and West Campuses with direct and accessible physical connections mitigating the impacts of the I-215/SR 60.

The West Campus is planned as a phased development and will include an academic core, student housing, and a variety of community facilities and expanded infrastructure. The planning has been refined and tested in the <u>West Campus Area Plan</u>, March 2003 and <u>The Strategic Plan for Housing</u>, March 2003.

The first family student housing component known as West Campus Family Student Housing (WCFSH) Phase I is included in the initial phase of development of the West Campus and is scheduled for completion in 2005. It will become a contained, secure family student residential community and will provide needed, proximate, affordable living accommodations for UCR student families. WCFSH Phase I (The Project) will include townhouses and apartments forming a neighborhood that will support the convenience and needs of family living and foster a sense of community. It will be expanded in subsequent phases.

The Phase I project is comprised of:

- Family Student Housing Units
- Child Development Center
- Recreation Fields
- Shared Facilities
- Associated Infrastructure

The development will provide a strong sense of community and a unique identity for UCR family residents through its planning. The project also will establish a strong link with the City of Riverside. The neighborhood's environment and site planning will be enhanced by opportunities for social interaction, cultural diversity and an environment conducive to study through a defined sense of arrival and physical connections to social nodes throughout the neighborhood. The family student housing will to be organized around neighborhood parks that will provide open play and gathering space. Through-traffic to city streets will be minimized.

The Program establishes and defines the Phase I project and budget. The Phase II project is intended to be an extension of this programming.



Figure 1.1-1: West Campus Family Student Housing Site Photo (looking toward the East Campus)

Family Student Housing per the 2003 Draft LRDP (in progress) and Strategic Plan for Housing has been conceived as 714 one, two and three bedroom units configured in two-story townhouses and apartments to be built in two phases.

Phase I housing will increase the family student housing stock and replace outdated units, currently located in the East Campus on a site planned for redevelopment. The units will be designed to accommodate family residents, as well as faculty, should this be desirable in the future.

The Child Development Center will primarily serve the family student housing community and address its needs. It will provide classrooms for children ranging from infants through kindergartners.

The Recreation Fields are planned to support the increasing need for student intramural and club sports. The fields are planned for programmed team

use primarily during evenings and weekends and will be available to housing community residents in the daytime.

Shared Facilities for the housing community Phase I include neighborhood parks, tot lots, a community center with Resident Service Office, a housing maintenance building, mail, trash / recycling areas and bicycle and vehicle parking.

The site is located west of the I-215/60 Freeway one block south of University Avenue, west of Iowa Avenue, north of the new Southwest Mall alignment, and east of Cranford Avenue. The new Northwest Mall will traverse the site from east to west, between the Family Student Housing / Child Development Center sites and the Recreation Fields.

The project includes the development of new roads, the re-design and extension of existing roads and the extension and expansion of components of city and campus infrastructure. The project planning responds to macro scale issues of pedestrian, bicycle, campus and city transit and vehicular movement, as well as to site characteristics such as views, solar orientation, prevailing wind/ventilation, proximity and access to city amenities, schools and campus academic cores.

The master plan and massing of the project are intended to promote a cohesive, pedestrian, UCR family residential community that enhances its context, provides for sustainable design and recalls the rich history of citrus groves in Riverside.

Phase II of Family Student Housing will consist of the balance of the family student units planned, a second Child Development Center and shared facilities. It will be located to the south of the Recreation Fields between the future Southwest Mall and Martin Luther King Boulevard.



Figure 1.1-2: Looking Northeast at the Site Photo

1.2 PROJECT GOALS AND PARAMETERS

The following are some of the project goals and parameters that have been identified by the Campus Community:

UCR Community Project Goals:

- Accommodate increased enrollment
- Assist as a recruitment tool for students
- Provide affordable family student residences
- Become an identifiable part of UCR
- Create a secure community for residents
- Establish each phase of family student housing as a complete community within itself
- Add to the context and general neighborhood
- Develop open spaces that support and unify the Family Student Housing community
- Achieve sustainability, maintainability and energy-efficient design
- Limit vehicular trips to the academic core and general campus
- Promote local, slow traffic and the use of bicycles and the campus shuttle
- Take advantage of site views and characteristics
- Design street parking that promotes the sense of a residential neighborhood with internal, open areas for community use
- Provide access/link to off-site schools, shopping, services and the entire campus
- Provide a legible western "terminus" to the West Campus development

These goals and existing UCR planning studies have informed and helped shaped the character and definition of the Detailed Project Program of the West Campus Family Student Housing.

Planning documents include:

- Draft LRDP
- Long Range Development Plan (1990)

(2003)

- West Campus Area Plan (2003)
- Strategic Plan for Housing (2003)



Figure 1.2-1: UCR Child Development Center Play Ground Photo

Long Range Development Plan (LRDP)

2003 Draft (in process)

Expanded objectives for the West Campus Family Student Housing are stated in the Draft LRDP. These include increasing the proportion of oncampus housing to 50%, a benefit that would contribute to:

- Enhanced sense of community on campus
- Availability of activities and amenities at all hours of the day, seven days a week
- Increased opportunities for informal learning among students, faculty and staff
- Increased socializing and socialization of students

UNIVERSITY OF CALIFORNIA RIVERSIDE

Figure 1.2-2: UCR Campus Entrance Photo

West Campus Area Plan

2003

Primary objectives for the West Campus included in the 2003 West Campus Area Plan:

- To create a sense of completion and place
- To accomplish a critical mass for the creation of a neighborhood through housing, parks, child care and Recreation Fields
- To connect to the West Campus Academic Core through the Northwest Mall and other campus infrastructure
- To be an active part of the City of Riverside
- To add to and benefit from the new West Campus
- To develop cost-effective, well-conceived infrastructure extensions
- To provide a secure and easily accessible community environment
- To create a successful community that is an extension and reflection of UCR as a whole

Strategic Plan for Housing

2003

Included in the 2003 Strategic Plan for Housing is the goal for the residential communities to respond to the needs of the:

- Individual student and student's family
- Residential community
- Connections to the broader campus
- Each residential neighborhood should establish a strong sense of community for the residents and be an integral part of UCR. This goal is met through the development of a planning "block" that includes a complement of functions that creates a cohesive community which is a legible extension of UCR.





1.3 PROGRAMMING PROCESS

The program and site concept for the Phase I project have been developed with residents, campus representatives, the Project Programming Committee and Project Management Team (PMT), Child Development Center staff, Recreation staff and Resident Service Office staff through an in-depth process that included:

- Workshops
- Interviews
- Site walks
- Surveys
- Presentations
- Analysis of existing facilities
- Case studies from other campuses
- Planning sessions
- Weekly meetings with project participants
- Coordination with the City of Riverside Public
 Works Department
- Coordination of prior planning studies

The information gathered throughout the process was analyzed in relation to UCR's growth plan, integrated into a cohesive program and reviewed with the programming participants, Project Programming Committee and the Project Management Team.

Detailed program information describing each the family student housing community and each facility type and space, as well as the massing and site organization has been documented in:

Administrative Draft: Draft Review: Draft: DPP: July 10, 2003 August 29, 2003 September 25, 2003 November 10, 2003



Figure 1.3-1: Workshop #3: Housing Photo, June 26, 2003

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1.4 PROGRAM COMPONENT SUMMARY

Housing

The two family student housing unit types established in the Strategic Plan for Housing are townhouses and apartments. The programming process reconfirmed these.

Planned as a cohesive, secure community and based on the desired density of 30 units per acre, per the Draft 2003 LRDP, a site of approximately 12.25 contiguous acres has been identified and planned for approximately 368 family student units in Phase I.

Child Development Center

A Child Development Center for 144 children, ranging from infant through kindergarten ages, is planned for each family student housing neighborhood (two total, Phases I & II). It is intended to serve residents, faculty and staff, as well as the general public if space allows. It will provide the UCR families with exceptional, daily support.

The facility, sited on 1.5 acres, will offer a warm, nurturing environment for children and their families. The Child Development Center will be an integral part of making Phase I of the family student housing into a complete community.

Recreation Fields

UCR Recreation Intramural and Club Sports programs are growing and the integration of university fields with student housing is planned to promote a vibrant, active community and sports' program. With 4 multi-use fields, alternately used as 2 softball diamonds, the residents can enjoy nonprogrammed open space, as well as participate in organized recreation programming. In addition, the 6.96 acres of fields afford the housing additional community open space.

Figure 1.4-1: Canyon Crest Family Student Housing Photo



Figure 1.4-2: Child Development Center Photo

DEVELOPMENT UC RIVERSIDE



Shared Facilities

The Phase I project incorporates a variety of additional program elements that are shared by the residents, and in certain instances by the Child Development Center and the Recreation Fields. Some of these shared program elements are located within the Housing, Child Development Center and Recreation Field sites. Other shared facilities, including the Neighborhood Parks, the Community Center and the Housing Maintenance Building, will be located on separate sites.

Neighborhood Parks, a component of the Open Space Framework of the LRDP, are included in the housing development to accommodate outdoor community activity in sites of about 0.4 acres each (two in Phase 1).

Tot Lots, of approximately 0.1 acres, are included in each of the seven family student housing parcels within the "net" site acreage. They will be fenced and provide for outdoor play for young children.

A Community Center is sited in a strategic location visible and accessible from the Northwest Mall and the Child Development Center on a site of approximately 0.15 acres.

The Center will include the Resident Service Office, as well as facilities for community activities and programs.

A Housing Maintenance Building will be located to the west of the family student housing at the intersection of Cranford Avenue and the Northwest Mall on a site of about 0.3 acres. It will include the Grounds and Maintenance Offices, shops and storage to support community functions.

Mail delivery will be provided by the United States Postal Service. In addition, UCR mail will be provided in separate boxes for intra-campus mailings **Trash and Recycling Areas** will be located throughout the sites for ease of use and service.

Infrastructure

The development, expansion and extension infrastructure is essential to the success of Phase I. The scope includes site utilities, IT systems, street development and improvements, drainage, irrigation and lighting. Availability of city and campus infrastructure has been assessed, and capacity for future development has been accommodated as appropriate to project constraints. The Phase I infrastructure proposed is based on logical, cost effective solutions, with some temporary connections until a time when West Campus development will allow for permanent, cost-effective solutions. The university community goals and the project budget are primary components in shaping infrastructure concept.



Figure 1.4-4: Canyon Crest Neighborhood Park Photo



Figure 1.4-5: Riverside Park Play Yard Photo



Figure 1.4-6: Canyon Crest Tot Lot Photo

Through the programming process, participant input and analysis of current permit sales, it has been determined that vehicle and bicycle parking will be required to support the following:

- Residents
- Visitors
- Child Development Center staff and families
- Recreation Field users
- Community Center staff
- Maintenance staff and service vehicles

The following table summarizes the facilities and sites included in the Phase I project program:

| Program Function, Phase I Project | Quantity | Total Site Acreage | Total Function ASF | Total Function GSF |
|---|----------|-----------------------|-----------------------|-----------------------|
| Housing Units | 368 | 12.25 | 323,370 | 388,644 |
| Child Development Center | 1 | 1.50 | 10,201 | 14,000 |
| Recreation Fields and Site Allowance | 4 | 6.96 | | |
| Shared Facilities | | | | |
| Neighborhood Parks | 2 | 0.80 | | 1,500 |
| Tot Lots (included in housing sites) | 7 | | | |
| Community Center | 1 | 0.15 | 3,885 | 5,500 |
| Housing Maintenance Building | 1 | 0.30 | 2,100 | 2,800 |
| Mail: US & Intra Campus (included in sites) | 36 pairs | | | |
| Trash/Recycling (included in sites) | 16 pairs | | | 1,900 |
| Parking Spaces (@ Housing, Fields, CDC, Maint. Bldg.) | 758 | 2.44 | | |
| Road Rights-of-Way | | 8.78 | | |
| Total | | 33.18 | 339,556 | 414,344 |

Figure 1.4-7: Program Component Summary Table

Note:

- Acreage has been rounded to the nearest 100th of an acre and, therefore, is approximate; the total project is about 33 acres.
- ASF/GSF vary from the 2003 Strategic Plan for Housing based on the conclusions of workshops and analysis and are rounded to the nearest square foot.
- Parking is included in Facility Site Acreage and in Road Rights-of-Way, with the exception of the Recreation Fields Lot.



Figure 1.4-8: Site Aerial Photo

1.0 Introduction

2.0 Program Summary

2.0 PROGRAM SUMMARY

This section contains a summary of the facility types and the individual spaces in each.

2.1 HOUSING UNITS

The Phase I project will provide UCR housing types that are currently not available to its student families. The townhouses and apartments programmed include two and three bedroom units. The introduction of one bedroom units will be explored in Phase II.

Workshops revealed that residents would like each unit to include: a covered patio or balcony, a single living/dining area, a washer & dryer, ample storage and easy access to at least one parking space, within the constraint of maintaining affordable rent.

Accessible units will be provided per Department of General Services requirements and will be sited near parking for ease of access. All upper level apartments should be accessed through creative design solutions.

Based on the overall mix of two & three bedroom units established in the Strategic Plan for Housing and maximizing the number of three bedroom townhouses, the housing unit program model for Phase I is:



Figure 2.1-1: UCR Canyon Crest Family Student Housing Photo

| Room Code | Program Function for Family | ASF | | | |
|-----------------|----------------------------------|------------------------|------------------------|------------------------|------------------------|
| | Student Housing Units | 2 Bedroom Apartment | 3 Bedroom Apartment | 2 Bedroom Townhouse | 3 Bedroom Townhouse |
| 982/983/962/963 | Entry/Living/Dining (w/ closet) | 260 | 260 | 260 | 260 |
| 982/983/962/963 | Kitchen (w/ laundry & pantry) | 104 | 104 | 104 | 104 |
| 982/983/962/963 | Bedroom I (w/ closet) | 176 | 176 | 176 | 176 |
| 982/983/962/963 | Bedroom II (w/ closet) | 135 | 135 | 135 | 135 |
| 983/963 | Bedroom III (w/ closet) | | 135 | | 135 |
| 982/983/962/963 | Bathroom I (full) | 40 | 40 | 40 | 40 |
| 982/962 | Bathroom II (1/2) | 25 | | 25 | |
| 983/963 | Bathroom III (3/4) | | 40 | | 40 |
| 962/963 | Internal Circulation (allowance) | 40 | 55 | 105 | 120 |
| 982/983/962/963 | Covered Patio (@ 50%) | 30 | 30 | 30 | 30 |
| | Unit ASF | 810 | 975 | 875 | 1,040 |
| | Unit GSF | 1,013 | 1,219 | 972 | 1,156 |
| | Quantity of Units | 190 | 58 | 72 | 48 |
| | Total ASF per Unit Type | 153,900 | 56,550 | 63,000 | 49,920 |
| | Total GSF per Unit Type | 192,470 | 70,702 | 69,984 | 55,488 |
| | Grand Total GSF | | | | 388,644 |

Figure 2.1-2: Housing Units Program Functions Table

Notes:

- The "Room Code" column references room use codes and definitions in compliance with CPEC reporting requirements.
- Room Code 982 refers to two bedroom apartment units. Room Code 983 refers to three bedroom apartment units.
- Room Code 962 refers to two bedroom townhouse units. Room Code 963 refers to three bedroom townhouse units.
- The gross square feet (GSF) of each unit type are rounded to the nearest foot.
- The efficiency of the unit types may vary, as a result of the internal stair in the townhouse unit (ASF) and the external stairs/landings/walkways required for apartment buildings (GSF). The target unit (GSF) is based on 80% efficiency as established in <u>The Strategic Plan for Housing</u> in the apartment units. The townhouse units are based on 90% efficiency due to the unit internal stair. The efficiency applied to all unit types is intended as an average. The average unit (GSF) per program Mix is 1,056.
- No additional area is included for open "volume" spaces and internal townhouse stair area is taken on one floor.
- For this building type only (housing units) the ASF is inclusive of covered patio/balcony area.
- Laundry rooms will be included in the project's shared facilities in the event that washers and dryers are not provided in each unit. This will
 be determined through value engineering in the design phases of the project.

2.2 CHILD DEVELOPMENT CENTER

One Child Development Center is planned in the Phase I project and will accommodate 144 children: infants through kindergartners.

The Center will be an asset to Family Student Housing, providing families with a licensed childcare facility within walking distance of their homes. The Center should be a place for children to thrive socially, emotionally, intellectually and physically. Family support should be afforded, as well as social interaction, cultural diversity and continuity of care.

The Child Development Center should make children and parents feel welcome. It should be spacious, light, open and airy, integrating indoor and outdoor environments.

The facility is programmed as a single story building situated on the northwest corner of the intersection of Iowa Avenue and the Northwest Mall. Parking for drop-off and pick-up, visitors and Community Center users will be provided on site. Staff parking will be accommodated across the Northwest Mall, in the Recreation Fields Parking Lot.

The Child Development Center has been defined through the programming process. Room types and functions, as well as overall facility requirements have been established. Security is critical to this facility design. A single, secure entry point must be provided and the entire facility must be secure.

| Room | Program Function, Child Development Center | Quantity | Room | Total | Child |
|------|---|----------|----------|--------|-----------|
| Code | | | Type ASF | ASF | Occupancy |
| 670 | Infant Room | 1 | 800 | 800 | 12 |
| 670 | Mother's Room | 1 | 100 | 100 | |
| 670 | Toddler Room | 1 | 540 | 540 | 12 |
| 670 | Toddler II Room: Older Toddlers or Pre-School | 1 | 930 | 930 | 24 |
| 670 | Pre-School Room | 3 | 930 | 2,790 | 72 |
| 670 | Kindergarten Room | 1 | 960 | 960 | 24 |
| 675 | Observation Rooms (Pairs) | 5 | 80 | 400 | |
| 675 | Storage Closet @ Classroom | 7 | 30 | 210 | |
| 670 | Children's Restrooms at Classrooms | 7 | 75-123 | 801 | |
| 670 | Curriculum Room | 1 | 255 | 255 | |
| 675 | Entry/Lobby/Stroller Storage | 1 | 270 | 270 | |
| 675 | Reception | 1 | 220 | 220 | |
| 320 | Offices | 2 | 120 | 240 | |
| 335 | Copy Center | 1 | 100 | 100 | |
| 670 | Isolation/Small Conference Room | 1 | 70 | 70 | |
| 340 | Conference/Multi-Purpose Room | 1 | 380 | 380 | |
| 675 | Staff Lounge | 1 | 225 | 225 | |
| 675 | Facility Storage Room | 1 | 265 | 265 | |
| 675 | Kitchen/Pantry/Loading | 1 | 375 | 375 | |
| 675 | Laundry | 1 | 72 | 72 | |
| 675 | Maintenance/Access Control Office | 1 | 75 | 75 | |
| 675 | Staff Restroom | 1 | 123 | 123 | |
| | Subtotal of Functions included in ASF | | | 10,201 | |
| | Total GSF | | | 14,000 | |

Play Yards (minimum 75 s. f. / child) including Covered Play Areas

10,800

Figure 2.2-1: Child Development Center Program Functions Table

Notes:

- CDC is based on a comparable efficiency to the existing CDC for 144 children.
- ASF in classrooms per Title 22 differs from ASF shown above. Each classroom ASF above incorporates some storage such as cabinets, kitchenette and changing area that are in addition to the Title 22 ASF indoor activity area requirements of 35 s. f. / Child.
- Covered outdoor play area of 2,000 GSF is included in the site development budget.
- General building "public" restrooms, mechanical, electrical, IT, access control, janitor closet, walls & structure and covered patio are included in GSF (typical all function types).

2.3 RECREATION FIELDS

The Recreation Fields program includes four multiuse soccer fields, alternately configured as two softball fields for UCR's Recreation Intramural and Club Sports Programs.

Each of the four soccer fields will be 66 x 120 yards in a north/south orientation, including buffer zones. A site allowance totaling 0.4 acres is provided for flexibility in the design of the facility. Lighting will be provided to allow evening and nighttime use of the fields, and should be positioned to allow for the alternate field configurations while maintaining lighting appropriate to the surrounding residential neighborhood.

A fence with lockable gates for security and unauthorized access will secure the four fields. Temporary, plumbed restroom facilities will be provided on the open site due west of the Recreation Fields and Fields parking lot, on Cranford Avenue. Permanent restrooms are planned to be included in the Recreation Facility in a future phase.

Intramural programming will be held primarily during the evening and at night. Throughout the day, residents and the Child Development Center of the West Campus will be encouraged to use the fields as an additional neighborhood park.

The Recreation Fields will provide needed additional space for the growing recreation programs at UCR, for camp programs as desired and be a general amenity for the West Campus.

| Room Pi | rogram Function, Recreation Fields | Quantity | Function Type | Total |
|---------|---|----------|---------------|---------|
| Code | | | Acreage | Acreage |
| So | occer Fields | 4 | 1.64 | 6.56 |
| Si | te allowance (North and South of fields) | 1 | 0.40 | 0.40 |
| Te | emporary Restrooms (sited west of Fields & Parking Lot) | 2 | | TBD |
| Тс | otal Acres | | | 6.96 |

Figure 2.3-1: Recreation Fields Program Functions Table



Figure 2.3-2: UCR Recreation Field Photo

2.4 SHARED FACILITIES

<u>Neighborhood Parks</u>, will be centrally located and easily accessible open areas for outdoor community recreation. The two parks programmed will be lighted for evening use.

| Room Code | Program Function, Two Parks | Quantity | Facility Type GSF | Total GSF |
|--------------|--|----------|----------------------|--------------|
| | Public Restrooms/Vending/Covered Picnic Area | 2 | 750 | 1,500 |
| | Pool and / or "water park" elements (TBD) | 1 | | |
| | Bar-B-Q's | 4 | | |
| | Play Equipment for older children | 2 | | |
| | Total GSF | | - | 1,500 |

Figure 2.4-1: Neighborhood Park Program Functions Table

<u>Tot Lots</u> are planned to complement the Neighborhood Parks, providing for fenced, secure play areas for young children. There are to be seven tot lots in the Phase I project. One tot lot is incorporated into each housing parcel.

The Community Center is a vital component of the Family Student Housing Program, enhancing the neighborhood by providing a space for community activities and the Resident Service Office. By locating the Resident Service Office in the family student housing community, the residents will be ensured accessibility to Resident Service Office staff. The staff will utilize this facility to help build a strong community environment through planned academic, cultural, recreational and social activities. The familyoriented activities will enhance the lives of West Campus residents and their families.

| Room Code | Program Function, Tot Lots | Quantity |
|--------------|--------------------------------|----------|
| | Fenced Play Area and Equipment | 7 |
| | Total | |

Figure 2.4-2: Tot Lots Program Functions Table

| Room Code | Program Function, Community Center | Quantity | Room-Type ASF | Total ASF |
|--------------|---------------------------------------|----------|------------------|--------------|
| 620/610 | Multi-Purpose Room | 1 | 1,200 | 1,200 |
| 410 | Computer Lab | 1 | 350 | 350 |
| 410 | Library | 1 | 400 | 400 |
| 615 | Kitchen | 1 | 220 | 220 |
| N/A | Lobby & Vending | 1 | 300 | 300 |
| 320 | Resident Service Office Reception | 1 | 100 | 100 |
| 320 | Resident Service Offices | 4 | 110 | 440 |
| 335 | Staff Lounge & Kitchenette | 1 | 195 | 195 |
| 335 | Copy & Work area | 1 | 80 | 80 |
| 340 | Conference Room | 1 | 300 | 300 |
| 335 | Staff Restrooms | 1 | 140 | 140 |
| 335 | Facility Storage Room | 1 | 160 | 160 |
| | Subtotal of Functions included in ASF | | | 3,885 |
| | Total GSF | | | 5,500 |

Figure 2.4-3: Community Center Program Functions Table

<u>The Housing Maintenance Building</u> and yard, located at the northwest intersection of Cranford Avenue and the Northwest Mall, will support the Housing, Maintenance and Grounds Departments, all Phase I facilities and Recreation Fields Storage.

| Room Code | Program Function, Housing Maintenance Building | Quantity | Room Type | Total |
|--------------|--|----------|-----------|-------|
| Coue | | | AƏF | ASE |
| 320 | Offices: Maintenance & Grounds | 2 | 80 | 160 |
| 335 | Staff Break Room | 1 | 200 | 200 |
| 525 | Maintenance Shop | 1 | 150 | 150 |
| 525 | Grounds Shop | 1 | 150 | 150 |
| 525 | Grounds Equipment Room | 1 | 900 | 900 |
| 525 | Recreation Field Storage Room | 1 | 240 | 240 |
| N/A | Telephone Switch Room | 1 | 300 | 300 |
| | Subtotal of Functions included in ASF | | | 2,100 |
| | Total GSF | | | 2,800 |

Figure 2.4-4: Housing Maintenance Building Program Functions Table

| Room Code | Program Function, Mail | Quantity | |
|--------------|---|----------|---|
| | US Postal Boxes | | |
| | Housing (@ building) | 33 | |
| | Child Development Center, Community Center, Housing Maintenance Bldg. | 3 | |
| | Intra-Campus Postal Boxes | | |
| | Housing (@ building) | 33 | |
| | Child Development Center, Community Center, Housing Maintenance Bldg. | 3 | |
| | Target Total | 36 pairs | • |

Figure 2.4-5: Mail Program Functions Table

| Room Program Fu Code | nction for Trash & Recycling | Quantity | Facility Type GSF | Total GSF |
|-------------------------|-------------------------------------|-----------|----------------------|--------------|
| Trash/Recy | cle Bin Enclosures | | | |
| Housing & | Community Center (7-14 locations) | 14 pairs | 100 | 1,400 |
| Child Deve | elopment Center | 1 pair | 100 | 100 |
| Housing M | laintenance Building | 1 pair | 100 | 100 |
| 40 cu. yd. D | umpster Enclosure (in housing site) | (1*) | 300 | 300 |
| Total | | 16 pairs* | | 1,900 |

Figure 2.4-6: Trash & Recycling Areas Program Functions Table

*Note: 40 cu. yd. Dumpster to be located with one housing trash/recycle enclosure

UCR WEST CAMPUS FAMILY STUDENT HOUSING DETAILED PROJECT PROGRAM

Mail will be serviced by the United States Post Office and mailboxes will be located throughout the sites. Locations will be dependent on site plan design and postal delivery criteria at the time of design. An intra-campus mail receptacle will be provided at each location.

Trash & Recycling Areas associated with the housing, includes one pair of trash and recycling containers for approximately every 26 units, located as appropriate to the site plan, plus one 40 cubic yard dumpster for disposal large items such as furniture. There are two additional pairs in the project: one located at the Housing Maintenance Building and one at the Child Development Center.

2.5 INFRASTRUCTURE AND PARKING

Infrastructure

Phase I site utilities, communication and security infrastructure equipment in Phase I will be located appropriate to the site and facility design (see Section 5). Street design within the community will be residential in character and maintain established guidelines (see Section 4).

Parking

Each program function will be provided with parking. Each housing unit will have one on- site parking space in on-street parallel parking or small lots. Additional dedicated resident parking will be provided at the Fields Parking Lot for families with a second car. In Phase II this may be expanded by 173 spaces for residents. Parking is planned with up to 40% compact spaces designated in the surface parking lots. Parallel street parking is based on 23 feet per stall. Accessible, vanpool and electric car spaces are to be accommodated throughout the project.

| Site & Users | Parking Spaces |
|--|-------------------|
| Housing (Residents)* | 368 |
| CDC (Families & CC users) | 30 |
| Fields Lot | |
| Residents (2 nd car at 50%) | 184 |
| Housing Guests/Field Users | 130 |
| CDC & RSO Staff | 36 |
| Housing Maintenance Building (Staff) | 10 |
| Total Spaces | 758 |

Figure 2.5-1: Parking Count Table *Everton Place parking spaces are not included

EVERTON NW MALL CRANFORD IOWA Resident (On-Street) Resident (Parking Lot) Resident, Visitor, CDC and RSO Staff and Recreation Field User CDC Family and CC User Maintenance Staff and Service Vehicle

Figure 2.5-2: Parking Diagram

2.0 Program Summary

3.0 SITE AND PROJECT ANALYSIS

Existing site conditions and criteria influencing development are identified in this section and the physical site is defined.

3.1 LOCATION AND CONTEXT

Location

The site is located west of the I-215/60 Freeways, along the northern border of the new UCR West Campus in the City of Riverside. It is one block south of University Avenue and west of Iowa Avenue.



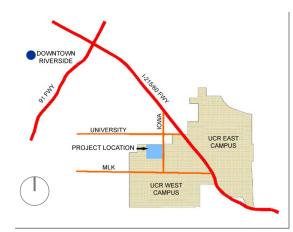


Figure 3.1-1: Vicinity Map



Figure 3.1-2: Intersection of Iowa Ave & University Ave Photo



Figure 3.1-3: Downtown Riverside Photo

<u>Context</u>

The 2003 West Campus Area Plan establishes the parcels east and west of the Phase I Family Student Housing and Child Development Center sites as UCR Student Apartment Housing. The Recreation Fields, sited south of the family housing, are bordered on the west by a campus reserve area, on the east by a future Recreation Center site and on the south by the Phase II Family Student Housing.

The pervasive, distinctive landscape in the immediate area is the citrus grove, which is to be reflected in the landscape design of the Family Student Housing. South of the Family Student Housing Phase II Site and Martin Luther King Boulevard, the University's agricultural teaching and research fields will be maintained and remain as a natural, historical resource. In addition, the semi-arid desert scape is an integral landscape characteristic of the region and should be incorporated in the site design.

Public school facilities in the area include the nearby Emerson Elementary School, University Heights Middle School and North High School. Commercial facilities include University Avenue's shops and restaurants.

In addition to the planned university housing, there is privately owned and leased off-campus housing in the area.

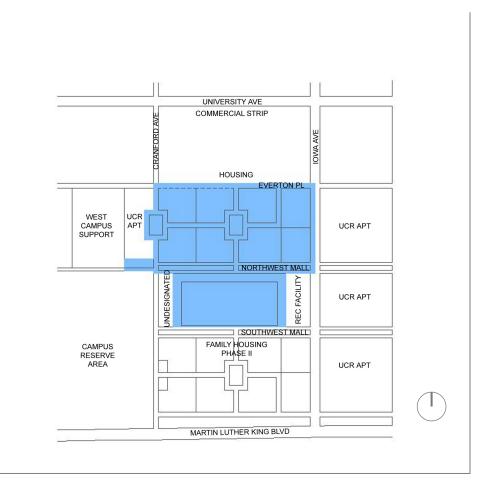


Figure 3.1-4: Phase I: Context and Extent of Development Diagram



Figure 3.1-5: Phase I: Five and Ten Minute Walking Radius Diagram and Context Photos

3.2 SITE DEFINITION

Basis for the Site Plan Dimensions

The West Campus Area Plan and the Strategic Plan for Housing include site plan information that has been extrapolated and integrated with the campus topographic survey and the aerial of the site to define the site.

The site dimensions are based on the Site Survey, dated August 19, 2003. Building setbacks are represented from street frontages at 5 to 10 feet for local & internal roads and 20 feet at Iowa Avenue the Northwest Mall (see Section 4), per prior planning documents.

It should be noted that the planning per the 2003 Strategic Plan for Housing included local roads at 38 feet curb-to-curb. The 2003 Draft Long Range Development Plan and the 2003 West Campus Area Plan reflect a right-of-way of 60 feet (including sidewalk and planting strip). The acreage reflected in Figure 3.2-1 is based on the "net" site areas exclusive of streets, on-street parallel parking, sidewalks and planting strips, and the unit density derives from this.

The site plan contained in the program is for planning purposes only and should not be relied on. At the outset of design phases any additional survey information and delineation of property lines should be developed. The total number and mix of housing units should be confirmed at that time.

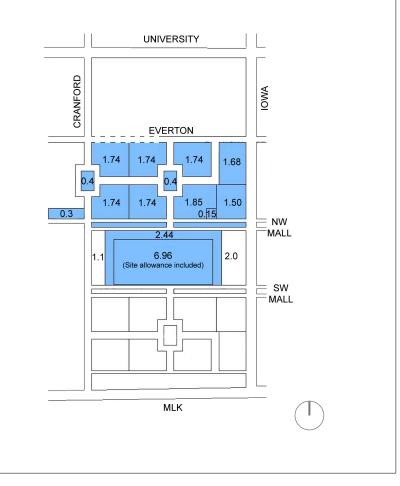


Figure 3.2-1: Phase I: Site "Net" Acreage Diagram

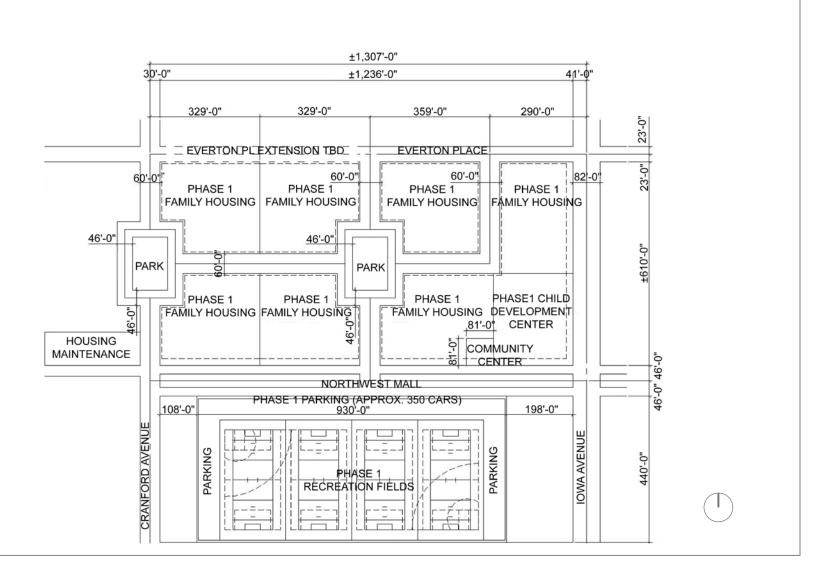


Figure 3.2-2: Phase I: Dimensioned Site Diagram

3.3 SITE CHARACTERISTICS AND OPEN SPACE

For the purposes of design, the site is flat and drains naturally to the southwest. The site is currently planted primarily with citrus trees and row crops and does not have paved vehicular circulation or on-site utilities.

The existing site condition readily lends itself to the proposed development. The site planning includes quiet residential street development with a variety of community open spaces. Neighborhood parks and tot lots are included in the site design program of the family student housing, in addition to ample community greens surrounding the townhouses and apartments.

The spacious, well-planted Northwest Mall will become the primary east/west link to the West Campus Academic Core and major drainage channel for the area. It will be introduced in the Phase I project.

Nearly seven acres of Recreation Fields will afford a major open space and panoramic views of the mountains for the residential neighborhoods.

The sites west and south of Family Student Housing Phase I will remain undeveloped during this phase and major areas of citrus groves will be maintained for the foreseeable future in campus reserves and experimental groves.



Figure 3.3-1: UCR West Campus Aerial Photo

3.4 NATURAL SITE ATTRIBUTES

To the north and east are open, expansive views of the San Bernardino and Box Spring Mountains. To the east are glimpses of the UCR East Campus including the Carillon, as well as the future West Campus Academic Core. Views of citrus groves are predominant.

The prevailing winds are from the northwest.

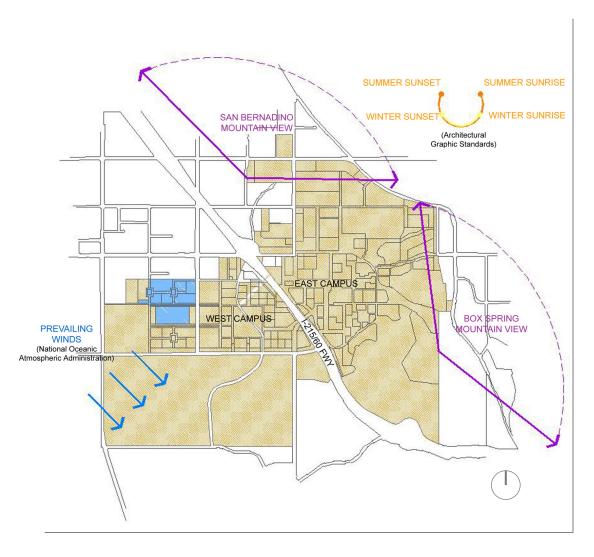






Figure 3.4-1: View to the Northeast Photo

3.5 ACCESSIBILITY

All facilities shall conform to the Regulations for the Accommodation of the Disabled, Title 24, California Administrative Code (including provisions of the Americans with Disabilities Act Accessibility Guidelines for Building and Facilities) and other applicable codes and regulations. (See Section 3.7 for applicable codes and standards.)

The project shall be designed with universal site accessibility. Accessible units and units for the hard of hearing will be provided per code with accessible parking spaces for automobiles and vans.

Early in the design phase, the Department of General Services, who will be reviewing the project for accessibility compliance, should be consulted on the location of accessible units and the requirements for upper level accessible units, as well as universal access to all units. (A unit cost for elevators and minor bridging between buildings is included as an alternate budget item.)

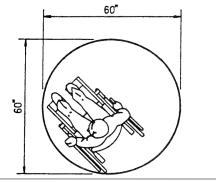


Figure 3.5-1: 60-Inch Diameter Space Diagram Diagram from the 2001 California Building Code

3.6 SUSTAINABILITY

Sustainable design is a priority of this project. Compliance with the intent of the LEED program to achieve environmentally responsible development is to be implemented. Implementation of this goal on the West Campus will help to convey the University's values

The LEED rating system for performance in 5 categories is useful as a guide:

- Sustainable Sites
- Water Efficiency
- Energy and Atmosphere
- Materials and Resources
- Indoor Environmental Quality

UCR is committed to creating a community that responds to the need to reduce the impact on natural resources and the environment. To achieve this goal, various provisions should be undertaken in the design and construction.

<u>Site</u>

- Provide landscape materials which provide shade, are drought tolerant, are non invasive and prevent erosion
- Provide collection stations for recycled materials
- Design to encourage pedestrians and bicyclists and the use of alternate modes of transportation
- Design for low site disturbance and storm water management
- Light the sites with energy conserving fixtures and manage with energy conserving controls

Buildings

- Provide orientation to utilize solar energy, solar control and prevailing breezes
- Provide for natural light
- Provide insulation to exceed Title 24 standards
- Select materials which are environmentally sensitive
- Provide structural systems to minimize use of materials
- Use natural materials
- Use materials with recycled material components
- Use solar glass and overhangs

Systems

- Specify water efficient fixtures
- Consider high efficiency mechanical and electrical equipment
- Provide energy management control systems
- Provide water conservation devices
- Provide renewable energy sources such as solar heated water
- Employ natural ventilation systems

Construction

- Recycle waste construction materials: waste management
- Provide area for collecting and managing recycling of waste material
- Use local and regional materials, as well as renewable materials

3.7 REVIEWS, CODES AND REGULATIONS

Campus Fire Marshal

UCR is under the jurisdiction of the California State Fire Marshal (CSFM) with drawings and specifications being reviewed and approved on the UCR campus by the Campus Fire Marshal. Access for fire fighting equipment is to comply with the City of Riverside County Fire Department criteria.

Department of General Services

The Department of General Services is the reviewing agency for the Campus as to accessibility only. Plans and specifications will be submitted to it for its approval per applicable codes.

Environmental Health and Safety

UCR will determine if Campus Environmental Health and Safety review is required.

Structural Peer Review

Design and Construction projects for UCR will be subject to Structural peer review

UCR Design Review Board

The DRB will review and comment on DPP.

UCR Capital Program Advisory Committee (CPAC)

CPAC will have final campus approval.

Applicable Codes & Standards

Applicable codes and standards shall be confirmed by the campus, including, but not limited to:

- Titles 8, 12, 19, 22 & 24, California Building Code
- UC Seismic Standards
- Federal requirements of Section 504 of the 1973 Rehabilitation Act

- Federal Fair Housing Amendments, 1988 (FFHA)
- Title II of the 1990 Americans with Disabilities Act (ADA)
- Refer to Section 5 for additional relevant Codes and Regulations

A comprehensive Code analysis is required at the outset of design to establish all governing codes and regulations. Refer to <u>http://www.dsa.dgs.ca.gov/</u> Publications: Official Comments for a comprehensive, current accessibility checklist. DPP November 2003

4.0 BASIS OF SITE DESIGN

This section defines the general site requirements of the program elements.

4.1 SITE PLAN ELEMENTS

Housing

Phase I Family Student Housing is planned to achieve a density of 30 units per "net" acre per the 2003 Draft Long Range Development Plan. The "net" acreage is defined as including the supplemental surface parking lots required to accomplish the desired on-site parking count (supplementing the on-street street parking) and excluding the neighborhood parks and road rightsof-way.

The 368-unit Phase I Project requires 12.25 "net" acres and constitutes more than 50% of the total 714 Family Student Housing units planned for the West Campus. The Family Student Housing Phase II Project development will be comprised of an additional 346 units and will require 11.5 "net" acres.

The density developed in the Strategic Plan for Housing was greater than 30 units per acre and that planning included 25% two-story townhouses and 75% three-story apartment buildings. Program workshops revealed that while open space is important to the residents, two-story massing is preferred over three-story. In order to accommodate density and massing goals, certain parcels formerly designated for Student Apartment Housing have been included as Family Student Housing sites. In the Design Phase site design opportunities, including some three-story apartment buildings, should be explored.

The Phase I Housing Unit Program Model includes 33% townhouses bordering the neighborhood parks and 67% apartments in two-story massing. The Strategic Plan for Housing establishes the planning premise for the two unit types. Townhouses are

sited back-to-back. This configuration allows for one window façade per unit, except in the "end" units. Therefore, the three bedroom units are located at the building ends. Apartments are configured along double-loaded corridors. Both planning premises have been tested, maintained and developed further in the program.

The two-story, two and three bedroom townhouse unit footprints are potentially $22' \times 30'$, allowing for flexible distribution of bedrooms and varied façade lines.

The stacked two and three bedroom apartment unit footprints are potentially 24'-26' deep by 35' and 45' respectively. These footprints allow for varied façade lines and unit organization. Accommodation of an enhanced building circulation system is in addition to this area and included in the unit GSF.

The program site concept affords the opportunity to achieve a substantial number of end units for flexibility in unit mix.

Each unit should have access to:

- Secure outdoor yard space for young children (Tot Lots)
- Individual, covered outdoor areas including balconies for upper level apartments
- Housing cluster yards
- Centrally located Neighborhood Park(s),
- One proximate parking space per unit and one additional space for every two units within the Phase I project
- Visitor parking within the Phase I project

 Bicycle parking at every building, preferably under cover

Child Development Center

The Child Development Center Site is 1.5 acres and accommodates the desired single-story, 14,000 square foot building with secure play yards. The site is located at the southeast corner of the housing development at the intersection of Iowa Avenue and the Northwest Mall. Access and identity of the facility is to be from the Northwest Mall. It is essential that its design provide for security. The site planning and facility design is intended to shelter the play yards from view of Iowa Avenue and the Northwest Mall.

The facility is intended primarily to serve the residents of family student housing. Adjacency to and shared use of the Community Center is desired for the potential of an Extended Day Program. Onsite family and Community Center parking is provided. Staff parking is sited across the Northwest Mall in the Recreation Fields Parking Lot.

Recreation Fields

The Recreation Fields will include four fenced, lighted and scheduled multi-purpose fields that are oriented north/south for optimum solar orientation. Two softball diamonds are included at opposite corners of the four fields for alternate scheduling. The site has been determined by the individual field size of 66 x 120 yards. It is programmed as a 6.56 acre site plus a site allowance of 0.4 acres to accommodate desired site depth appropriate for the adjacent student apartment development and spectator/gathering area. Bordering the fields on the west, north and east is double-loaded parking to

help accommodate the Phase I project parking requirements. The overall site for the Recreation Fields, including the site allowance, and the Fields Parking Lot is approximately 9.40 acres. (See Section 6.3 for field construction.)

Shared Facilities

Neighborhood Parks are designated as a part of the UCR Open Space Framework of the 2003 Draft Long Range Development Plan and are sited and sized per the planning documents. The two parks included in the Phase I project are 0.4 acres each, with shade trees, turf, play equipment for older children, barbecues, restrooms and shaded picnic areas for general family use. During the design of the Phase I project, consideration should be given to the incorporation of a swimming pool and / or "water park" elements into one of the neighborhood parks, as the budget allows.

Tot Lots are planned for 7 locations: one within each housing parcel. They are included in the housing site "net" acreage and planned to be about 0.1 acres each, with fencing, benches and age appropriate play equipment for young children. Their designs should include shade trees and childfriendly landscape. Themed designs are encouraged.

A Community Center is sited on 0.15 acres and located to be visible from the Northwest Mall and adjacent to the Child Development Center for shared use. It will include the Resident Service Office, a multi-purpose room, a computer lab, conference room and vending.

A Housing Maintenance Building, a one-story facility located on the westernmost site of Phase I, is adjacent to the site for the future campus-wide

general support area and is accessible from the Northwest Mall and Cranford Avenue. It will include offices, storage, shops and work yard on a 0.3 acre site. The yard should be located, lighted, fenced and landscaped appropriate to a residential community and to minimize visibility.

Mail is to be sited per United States Postal requirements and is included in the site area of each function. Additional boxes for intra-campus mail should be provided at each location per campus guidelines.

Trash and Recycling Areas will include one or two pairs of bins in walled and gated enclosures located appropriate to the site design and maintenance vehicle access. Their area is included in the "net" site areas. Seven to fourteen locations, plus one location for a 40 cubic yard dumpster for disposal of large items should be provided within the housing site. The Community Center will make use of the housing bins. The Child Development Center and Housing Maintenance Building will have one pair and enclosure each.

Infrastructure

On-site systems equipment and any enclosures are to be located appropriate to the site design and are to be sited unobtrusively, with neighborhood safety as a primary concern. Street design within the community will have limited connections to the surrounding city road network and be designed to discourage though traffic. Street design must also satisfy Fire Department access requirements. Street rights-of-way and lighting are to maintain UCR guidelines. Site setbacks from the Northwest Mall should be developed to accommodate the future utilities installation in a future phase.

Parking

In addition to that provided on-site, Phase I parking will be accommodated in a lot of 2.44 acres along the north, west and east borders of the Recreation Fields for shared use by residents, guests, Recreation Fields users and Child Development Center and Resident Service Office staff. The housing neighborhood will provide for resident parking only. The Child Development Center site will provide parking for pick-up and drop-off of children and shared use by Community Center. The Housing Maintenance Building site will provide staff and service vehicle parking. All parking should be designed to conform to Campus Parking requirements.

4.0 Basis of Site Design

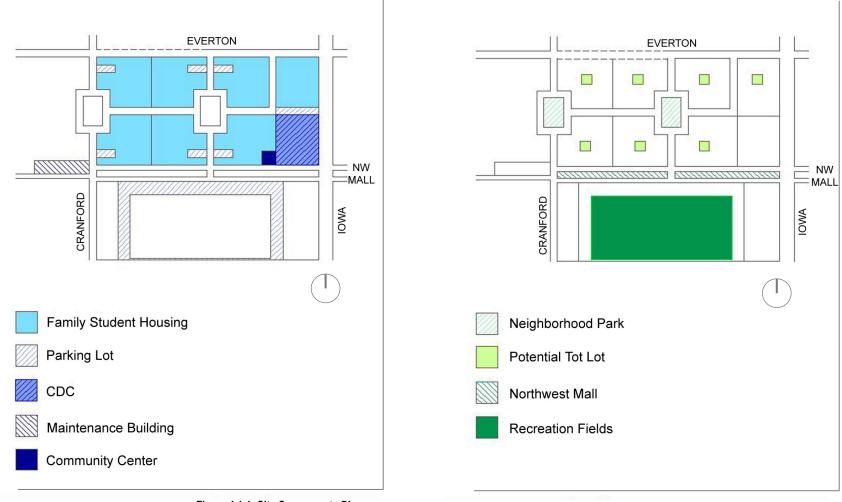


Figure 4.1-1: Site Components Diagram

Figure 4.1-2: Open Space Components Diagram

4.2 SITE ACCESS, CIRCULATION AND WAY FINDING

Streets

Iowa Avenue, a city street at the project's eastern border, may become an improved two-lane roadway with landscaped median, or it may become a four-lane street. In either case, there will not be direct through traffic from Iowa Avenue into the family student housing community. In Phase I Iowa will provide access to the Northwest Mall and Everton Place. Its improvements are to be determined with the City of Riverside. The Phase I project includes improvements of Iowa Avenue (to its centerline) between Everton Place and the Northwest Mall, including the intersections.

Everton Place, a city street to the northeast of the site, will be extended as a campus local access road from Iowa Avenue west. It will form the northern border of Phase I and may be designed as fire/emergency service access way from the midpoint of its extension, west to Cranford Avenue.

Cranford Avenue, a city street to the west of the site, will be extended as a campus local access road along the western perimeter of Phase I housing. It is intended for residential, emergency and service access.

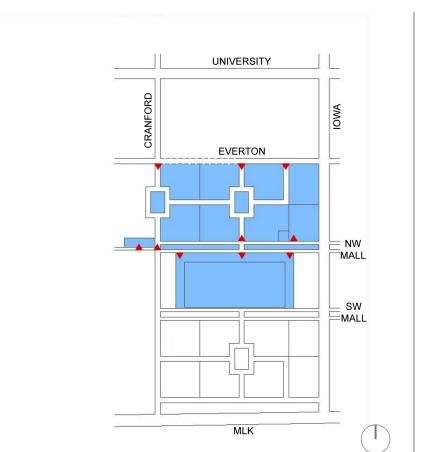


Figure 4.2-1: Phase I: Vehicular Access Diagram

The Northwest Mall will provide access to the Phase I project and include a richly landscaped zone, accommodation for existing area drainage, vehicular and bicycle lanes and pedestrian ways and will link the Family Student Housing to the West Campus Core. In Phase I the Northwest Mall will be developed between Iowa and Cranford Avenues. including intersections, traversing the Phase I project along the northern border of Recreation Fields and parking. The Northwest Mall will provide vehicular access to the Housing, Child Development Center, Recreation Fields, Community Center and Housing Maintenance Building. The number and location of median breaks in the Northwest Mall should be studied in the Design of the project in order to develop safe, easy and logical vehicular access and phased circulation in a secure residential neighborhood.

Note: The alignments of the Northwest and Southwest Malls will be established in the design phase. The Phase II housing acreage and the north/south site dimension established for the Student Apartment parcels to the east will be determining factors.

The Southwest Mall will be developed with Family Student Housing Phase II. In Phase I, a temporary drainage swale will be constructed in its future alignment. The swale will be developed west of lowa along the southern perimeter of the Recreation Fields to convey drainage and protect the groves in the area from any runoff. In a future phase, the development of the Southwest Mall will provide additional direct Recreation Field and parking lot access. Local Access Streets are programmed to provide for slow traffic with on-street parallel parking to increase the residential character of the neighborhood. Resident, emergency, service, loading and fire access is to be provided throughout the community. Users of the Recreation Fields and visitors will be discouraged from driving into the housing area. The Child Development Center will provide independent vehicular access and circulation, and will be designed to discourage through traffic but allow convenient pedestrian access for housing residents.

Emergency Access

Fire Department access and fire hydrants are to be provided such that access and locations are within a 150-foot "hose" length of any part of any structure. Access is to be provided in a twenty-foot right-of-way (minimum). Dead-end access points in excess of 200 feet must be provided with turn-arounds or hammer heads. Emergency access will be dependent on the fencing and landscape design of any site.



Figure 4.2-2: Experimental Groves Photo

Refer to the Draft LRDP for streetscape design and sections.



Figure 4.2-3: Iowa, East Edge of Site, Photo

<u>Bicycles</u>

Bicycling will be encouraged through the incorporation and improvement of bicycle lanes into the design of the Northwest Mall, Iowa Avenue, University Avenue and Martin Luther King Boulevard in order to facilitate family resident movement to and from the West and East Campus cores. Iowa Avenue will be planned for easy bicycle crossings. Bicycle lane links between Housing Phases I and II should be planned for. All Phase I sites will provide ample areas for bike parking. If the housing project is gated and fenced, cyclists will be provided with controlled, gated access.

Pedestrian Access

The community design should include identifiable, easily accessible pedestrian ways. The Phase I project is planned to provide visitor parking at the Recreation Fields Parking Lot, with pedestrian access to the housing sites, as well as resident pedestrian access to the Child Development Center, the Recreation Fields and Community Center. If the housing project is gated and fenced, pedestrians will be provided with controlled, gated access.

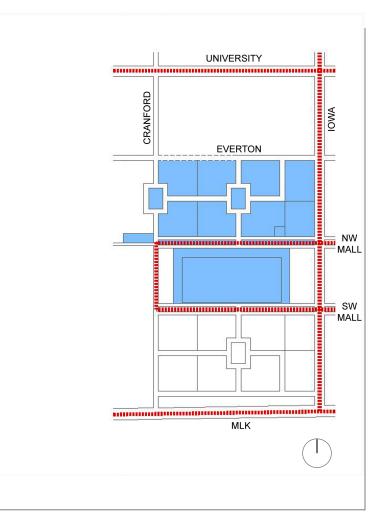


Figure 4.2-4: Phases I & II: Bike Path Diagram (Per Fig. 15 of West Campus Area Plan)

<u>Transit</u>

Campus Shuttle service is planned for the Phase I project with shuttle stops along the Northwest Mall. **Local City Buses** are available to residents.

<u>"Wayfinding"</u> is an important feature in the project. Physical site planning and signage will be important to assist visitors to and within the neighborhood. All signage is intended to be consistent with a residential community and site planning should foster entry identity.

Security of the Phase I project is essential to the campus community. Whether the family student housing sites are developed as a fenced and gated community or not, it is important that site design include planning that is security-conscious. The extent of the fencing and gating of the housing sites will be determined in the design of the project. Fencing of housing clusters or an entirely fenced neighborhood is to be evaluated. Fencing of the housing sites is in the budget as an alternate. The Child Development Center, Recreation Fields and Maintenance yard are to be fenced and gated. In addition, the continuous perimeter fencing of the Agricultural Research and Teaching Fields must be re-established including the balance of the Southwest Mall alignment between and along Cranford and Iowa Avenues. Access to the Fields parking lot may be controlled with landscape buffers and gated drives. Security conscious site lighting and site planning that allows for visibility of outdoor areas should be incorporated into the design.



Figure 4.2-5: Shuttle Transit Route Diagram (Per Fig. 16 of West Campus Area Plan)

4.3 LANDSCAPE AND LIGHTING

Landscape

With its citrus history and semi-arid desert climate, the West Campus has exceptional examples of existing landscape from which to draw.

The natural systems of the semi-desert landscape include areas of arid earth and arroyos, which provide for water run-off during the brief periods of rain. The arroyos are not only the natural drainage systems of the region, but are also colorful markers establishing points of interest within the larger landscape. Often the arroyos are characterized by seasonal color change and are comprised of granite boulders, sandy bottoms, and vegetation, such as willow, sycamore and mulefat. Incorporating these regional landscape features into the design of the West Campus is important not only in terms of sustainability, but also as an opportunity to give the new West Campus its own unique character.

In addition to the natural systems, the area's landscape history includes human shaping of the land, most notably, through the distinctive elements of the citrus groves and the long linear roads that result.

The West Campus, with its striking semi-desertscape and citrus grove legacy, will stand in contrast to the East Campus, which draws on the landscape traditions of east coast American campus design and traditions that assume a landscape of abundant rainfall and result in large grassy areas and shade trees.

As a means of linking the East and West Campuses visually, specific locations within the West Campus should be chosen and developed as moist green

courtyard gardens. These cool protected environments also draw from the local architectural history of the mission style and will become intimate outdoor spaces for study and family recreation.

Safety and security should be emphasized in the landscape design through ample lighting on public malls and open spaces, attention to visibility and sight lines, elimination of large isolated areas and a focus on pedestrian safety in the design of vehicular and bicycle circulation.

Lighting

In addition to street lighting, landscape lighting is encouraged to enhance the neighborhood while lighting footpaths, building entries and landscape features. Building mounted lights should also be incorporated. Site and street lighting are to be per UCR standards and include energy efficient fixtures and appropriate light levels for safety and security, without producing "light pollution." Lighting should be developed to promote the residential character of the neighborhood and be activated by photocells or time clocks.



Figure 4.3-1: Riverside Semi-Desert-Scape Photo

4.4 **PROGRAM CONCEPT**

The Master Planning was revisited in the Project Program Phase and existing planning premises have been re-evaluated. The parcels designated for Phase I and II Family Student Housing and Student Housing have been redefined, in order to create the potential for a two-story family student housing community with ample open space. The program concept illustrates planning based on the site requirements of each facility.

The project program incorporates site area to accommodate:

- Housing in the density and mix desired
- A Child Development Center with ample yard space and parking
- Recreation Fields at the dimensions and orientation desired
- Shared facilities
- Logical development which amortizes infrastructure investment
- Adequate parking



Figure 4.4-1: Phase I: Program Concept Diagram A, 2-story

4.0 Basis of Site Design



Figure 4.4-2: Phase I: Program Concept Diagram B, 2+3 Story

Figure 4.4-3: Phase I: Program Concept Diagram C, 2+3 Story

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4.0 Basis of Site Design

DPP November 2003

5.0 Systems Criteria

5.0 SYSTEMS CRITERIA

This section provides conceptual design criteria for the systems of the proposed facilities and sites. Specific design criteria for each system will be developed in the design phase and reviewed with the Campus Offices of Physical Plant, Office of Design and Construction, Capital and Physical Planning and Housing Services.

5.1 LIFE CYCLE COSTING

Life Cycle Costing analysis of building systems assists the University in determining the relative costs that are initially an increased capital expense, but may pay for themselves over time.

Building Systems and materials should be selected after careful review and analysis of their lifetime effectiveness relative to maintenance and capital costs, durability and operational efficiency. The analysis will assist in the selection of systems and materials.

In the program phase systems options have been explored within the budgetary constraints of the project. The design is not intended to be limited to these options. 5.0 Systems Criteria

5.2 SITE UTILITY PIPING

Phase I of the WCFSH will include the following: 368 Family Student Housing units, a Child Development Center, a Community Center, four Recreation Fields and a Housing Maintenance Building. The entire family housing development (Phases I & II) is bordered by Iowa Avenue to the east, Everton Place to the north, Martin Luther King Boulevard to the south and Cranford Avenue to the west.

The City of Riverside has existing utilities in the streets fronting the site with adequate capacity to support the development of this project.

- The domestic and fire water supply will be provided from an existing 16" main line on lowa Avenue
- The sanitary sewer will be discharged to a main sewer line on University Avenue
- The site will drain to the County of Riverside Flood Control 72" storm drain line running along the extension of Cranford Avenue
- The Gas Company will supply gas from a main line on Iowa Avenue.

These utilities will be permanent and in accordance with the <u>West Campus Area Plan</u>.

The utilities will provide for the connection and continuation of future phases of the developing West Campus. The proposed development will have to address the existing irrigation system that irrigates the existing groves and modify it as necessary to avoid conflicts with the continuing operation of the remaining groves. The following is a list of relevant contact information for utility companies:

| Utility | Agency | Contact | Phone | Address |
|--------------|---|-----------------|--------------|--|
| Storm Drains | City of Riverside/ Department of Public Works | Rob van Zanten | 909-826-5875 | 3900 Main Street Riverside, CA 92522 |
| Storm Drains | County of Riverside Flood Control District | Ed Lotz | 909-955-1266 | 1995 Market Street Riverside 92501 |
| Sewer | City of Riverside/ Department of Public Works | Sandy Caldwell | 909-826-5348 | 3900 Main Street Riverside, CA 92522 |
| Water | City of Riverside/ Public Utilities/ Water Division | Marty McLeod | 909-826-5285 | 3900 Main Street Riverside, CA 92522 |
| Power | City of Riverside/ Public Utilities/ Electric Division | Bill Mainord | 909-826-5393 | 3900 Main Street 4 th Floor Riverside, CA 92522 |
| Telephone | Pacific Bell- SBC | Lee Corby | 909-359-2255 | 3073 Adams Riverside, CA 92504 |
| Gas | The Gas Company | Hector Martinez | 909-335-7674 | P.O. Box 3003 SC 8031 Redlands, CA 92373 |
| Cable | Charter Communication | Xochtil Ortega | 909-343-5161 | 7337 Central Avenue Riverside, CA 92504 |

Figure 5.2-1: Utility Contact Information Table

5.2.1 Domestic Water and Fire Protection

Domestic Water

In accordance with the <u>West Campus Area Plan</u> a new 10" water line (University owned and maintained) will be installed with two metered points of connection to the City's 16" transmission line. These two, metered points will be at the intersection of lowa Avenue and Everton Place and at the intersection of Martin Luther King Boulevard and the Gage Canal.

Only one point of connection to the city main line on Iowa Avenue will be required to provide domestic water to the Family Student Housing, the Child Development Center, the Recreation Fields and the Housing Maintenance Building during Phase I. This line will run along the north property along the westerly extension of Everton Place, then southerly along the extension of Cranford Avenue and easterly along the Northwest Mall. Its total length will be 3,250 feet. Future points of connection will be provided for the future phases of development to the east, south and west.

Fire Protection

In order to meet fire department requirements, a 10" fire line will run parallel to the domestic line to provide fire flows for fire hydrants and fire protection to the buildings. Its total length will be 3,250 feet. Laterals will be provided for internal use. This line will be serviced from the 16" City Line on Iowa Avenue and will be connected in a loop system at Everton Place and the Northwest Mall. This line will be owned and maintained by the University.

12" W UNIVERSITY AVE 20" W 8 AC" W EVERTON PLACE POC TO EXIST 16" W EVERTON PLACE EXISTING WATER NEW WATER NORTHWEST MALL SOUTHWEST MALL 16" W OWA AVENUE 20" W MARTIN LUTHER KING BOULEVARD 500'

Figure 5.2.1-1: Water and Fire Protection Diagram

5.2.2 Sanitary Sewer System

Existing Sanitary Sewer System

The City of Riverside Department of Public Works is maintaining the sanitary sewer lines for this area, which are treated by Riverside Regional Water Quality Control Plant. The City currently has the following facilities fronting the West Campus:

- 12" main line along University Avenue
- 8" main line along lowa Avenue from University Avenue to Everton Place, turning easterly on Everton Place
- 8" line on Cranford Avenue between University Avenue and Everton Place

Proposed Development of Sanitary Sewer

In accordance to the <u>West Campus Area Plan</u>, a new 10" sewer line (University owned and maintained) will be installed from Northwest Mall to the City 12" line on University Avenue (1,300 lf). This line will have to cross private properties between Everton Place and University Avenue (mid point between Iowa Avenue and Cranford Avenue).

The City has a 10 foot easement running mid way between University Avenue and Everton Place. The University will have to obtain the rest of the easement.

An alternate alignment, not requiring easements, will be to install the 10" line on Iowa Avenue from the Northwest Mall to University Avenue (1300 lf). This line will have to be designed and approved by the City of Riverside and will become a public line serving the Phase I West Campus Family Student Housing development.

The 10" line will be extended 650 feet westerly along the Northwest Mall. Based on available

gravity slope, this line may be extended an additional 650 feet in a westerly direction to pick up the Recreation Fields restrooms. If slope is a problem, the line on Cranford Avenue will have to be extended southerly to Northwest Mall (650 feet) to connect the restrooms of the Recreation Fields. Additional 8" lines along the new developed internal streets of Phase I construction will be required to serve the housing units.

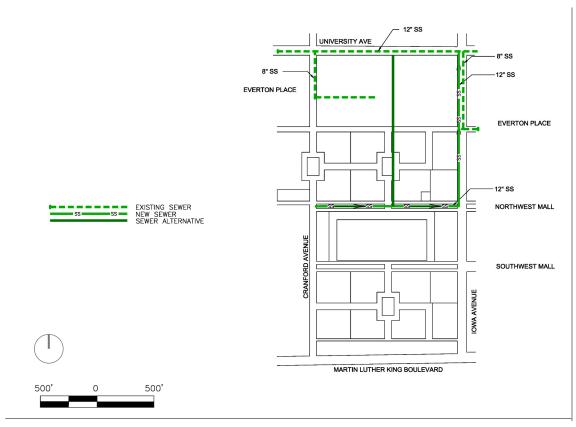


Figure 5.2.2-1: Sanitary Sewer System Diagram

5.2.3 Storm Drainage System

Existing Storm Drainage System

The Riverside County Flood Control and Water Conservation District (RCFCWC) has the following facilities along Martin Luther King and Cranford Avenue, fronting the West Campus:

- 42" drain line along Martin Luther King Boulevard, connected to a 72" line at Cranford Avenue
- 66" drain line (becoming 72" at the Southwest Mall) along Cranford Avenue from 7th Street to Martin Luther King Boulevard

These lines intercept the City storm drain lines at University Avenue and pick up surface runoff generated from the undeveloped areas east of Cranford Avenue. This area slopes from northeast and southeast to a natural swale that slopes from east to west along the future Southwest Mall alignment and discharges into the County drain line at the Cranford Avenue extension.

Proposed Development

The proposed storm drain system of the Phase I of West Campus will be a gravity conveyance system that consists of shallow ornamental swales located in the median of the Northwest Mall and temporary swales along the future alignment of the Southwest Mall. These swales will connect to the Riverside Flood Control facility along the Cranford Avenue extension. A storm drain connection permit will be required, as well as hydrology and hydraulic calculations to ensure that the discharge does not exceed the 10-year storm event capacity of the existing lines. Any additional discharge generated from the post development will be detained on site along the surface swales and Recreation Fields.

Any runoff from areas east to Iowa Avenue will be intercepted by the open swales and conveyed to the Flood Control facilities. Storm Water Pollution Prevention measures will have to be implemented, as well as Best Management Practices in order to ensure that pollutants are not discharged to the County Facilities.

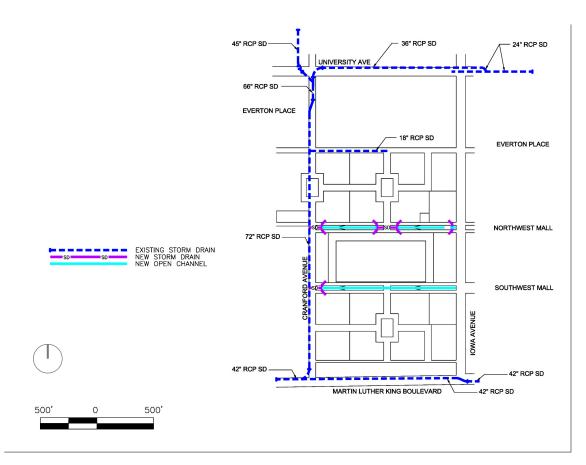


Figure 5.2.3-1: Storm Drainage System Diagram

5.2.4 Natural Gas Systems

Existing Natural Gas

The Gas Company has the following facilities fronting the West Campus site:

- A 12" High Pressure gas line along Iowa Avenue between University Avenue and Martin Luther King Boulevard.
- A 12" High Pressure line along Martin Luther King Boulevard.

Proposed Development

The Gas Company has provided a letter of Intent to provide gas service to the project. (See Bibliography, Section 7.2)

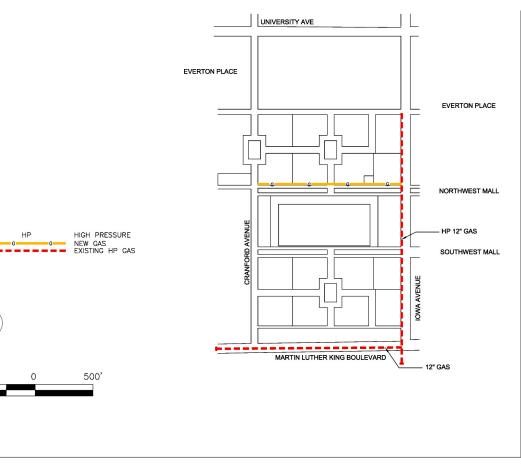


Figure 5.2.4-1: Natural Gas Systems Diagram

500'

5.3 HVAC Systems

5.3.1 Codes and Standards

The West Campus Family Student Housing program must comply with applicable sections of national, state and local codes, laws, ordinances, rules and regulations of authorities having jurisdiction, including:

- State of California Code of Regulations (CCR), current edition
- California Building Code, current edition
- California Mechanical Code, current edition
- Uniform Plumbing Code, current edition
- California Fire Code, current edition
- State of California Energy Code, current edition
- Occupational Safety and Health Administration (OSHA)
- South Coast Air Quality Management District (SCAQMD)
- National Fire Protection Association (NFPA)
- Underwriters' Laboratories, Inc. (UL)
- American Disability Act (ADA)
- National Electric Code (NEC)
- UCR Campus Standards and Design Criteria

5.3.2 Design Criteria

Design Conditions

Outdoor summer and winter conditions shall be in accordance with 0.5% design conditions for summer and 0.2% design conditions for winter for the City of Riverside from Climatic Data for Region X as published by Golden Gate and Southern California Chapters of ASHRAE, 5th Edition, 1982 as outlined below:

Summer:

Outdoor Dry Bulb: 110°F Outdoor Wet Bulb: 70°F Indoor Design Temperature: 75°F

Winter

Outdoor Dry Bulb: 34°F Indoor Design Temperature: 72°F

Indoor relative humidity: 50% ±20%

Minimum Ventilation

Operable windows will satisfy the requirement for outdoor ventilation air for residential units. The CDC will utilize roof top AC units to provide the code required 15 CFM per occupant of outdoor ventilation air. Roof top units will be screened from public views.

Ventilation and Exhaust Systems

Mechanical exhaust will be provided for toilets at the rate of 12 air changes per hour minimum. Each residential unit will utilize a ceiling exhaust fan ducted to a wall cap at the nearest exterior wall. On/off control can be via an interlock with the room light switch.

The stack washer/dryer unit should be located as close as possible to an exterior wall so that the dryer vent can terminate at an exterior wall cap. Care must be taken to limit dryer duct lengths in accordance with the dryer manufacturer's guidelines.

For kitchen range hoods, the optimum means of controlling cooking smoke and odors is to utilize hoods that exhaust directly outdoors. Each hood should be ducted to a small wall cap at the nearest exterior wall. Because most residential hoods are equipped with low capacity fans, it is important to plan the kitchen layout such that the exhaust duct length is kept to a minimum and is well within manufacturer's guidelines for the total developed length.

All exhaust terminations to be located to avoid reentry of exhaust air to the building.

Air Filtration

It is desired to have minimum 65% efficient filtration on the roof top AC units serving the Child Development Center and 30% for smaller package and/or split system serving the residential units. Roof top units will be screened from public views.

Equipment Sizing/Redundancy

In general, systems are to be designed for approximately 10% extra capacity due to aging effects.

5.3.3 Mechanical Systems

While the March 2003 West Campus Area Plan concluded that it is not feasible to extend cooling and heating media piping from the main campus system, the Plan allows for the potential use of smaller, regional plants within the project boundaries.

From a cost effectiveness and individual unitmetering standpoint, space heating and cooling needs are best met by individual pieces of equipment serving each living unit. The construction of a central heating/cooling plant(s) with underground piping and a four pipe distribution system within the buildings is the highest first cost option.

The design team should conduct some cost-benefit analysis to determine whether a distributed versus individual unit approach should be pursued. This analysis must address the University's stated preference to meter each "tenant's" utility usage to the maximum extent possible, which becomes more problematic with the central plant approach.

Also, the University's very favorable electric power rate makes electric heating/cooling (via heat pumps) a more attractive option than it might otherwise be.

Housing Units

The typical housing unit is to be air conditioned by means of dedicated standalone equipment. This is to consist mainly of split system equipment, which is commonly used, in residential projects of this type. Either air to air heat pump systems with electric cooling/hydronic heating or electric cooling/gas heating should be considered. The indoor fan coil sections can be either a vertical type located within a closet or a soffit mounted type if there is sufficient mounting clearance. If gas furnace sections are used, a closet will be required.

For two level units, a separate system should be provided for upstairs and downstairs spaces to avoid the temperature control problems resulting from combining these two different temperature zones.

The Campus has expressed a preference for split system forced air units with hydronic heat (via the gas-fired domestic hot water heater) and electric cooling with at grade mounted condenser units, Carrier, Trane or equal, minimum SEER rating of 12.0.

The design team should conduct a cost-benefit analysis to determine whether ceiling fans should be provided for all bedrooms and living rooms to promote air circulation and to allow air movement during periods when the HVAC system is not in use.

As an additional life safety feature, the use of carbon monoxide (CO) sensors should be considered in all living areas.

Child Development Center

The most cost-effective means of air conditioning this building is by roof top packaged, air-cooled DX equipment. With this type of equipment, multiple units will be needed to serve various perimeter and interior zones throughout the space to ensure proper temperature control. Use of constant volume gas heating/electric cooling units offers a simple approach to conditioning the building.

At 14,000 square feet it is estimated that a total of 60 tons of capacity will be adequate consisting of 8-10 individual roof top packaged units which will be screened from public view. Each classroom is to have a dedicated unit.

5.3.4 Controls and Energy Management

Controls and Energy Management System shall be furnished by one of the pre-approved campus vendors specializing in building automation systems. Controls for the proposed buildings will be compatible with the existing campus control system.

Housing Units

For the residential units, which are each standalone, a programmable digital type thermostat will be utilized to connect to the campus energy management and control system (EMCS). Specific needs are to be discussed with the Campus Facilities group during the early design phase.

Child Development Center

For the CDC Facility a direct digital control (DDC) controller is to be installed in a Mechanical Room and will control the HVAC and plumbing equipment.

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5.4 PLUMBING AND FIRE PROTECTION SYSTEM

5.4.1 Estimated Loads

Domestic Water

Domestic Irrigation: Ultimate maximum water consumption for domestic irrigation use is estimated at 400,000 GPD (~450GPM). The water consumption was calculated based on known data and the following assumptions:

Housing Assumptions:

368 Units total.

Population: Used 1.75 persons per Bedroom. Daily water consumption = 100 gallons per day per capita. Hours per day usage = 15 hrs. Peak Flow Rate = 3.0 x average flow.

Child Development Center Assumptions:

14,000 square feet Population: 35 gross s. f. per child. Daily water consumption = 10 GPD/Child. Hours per day usage = 10 hrs. Peak Flow Rate = 2.5 x average flow.

Sanitary Sewer Assumptions:

Sewer piping is available in the street and will be extended into the site at multiple locations to serve the building loads from domestic plumbing. Water consumption is estimated at 90% of the peak demand of 400,000 GPD will be drained to the sewer (all urinals in public restrooms are to be waterless). The balance of water will be used for irrigation and therefore will evaporate or infiltrate into the ground.

Storm Drain Assumptions:

Roof drainage will largely be handled by architectural gutter and downspouts, which discharge at grade. Turf areas will sheet flow to catch basins installed to intercept courses to prevent erosion. Rainfall data will be obtained from County Flood Control District.

Natural Gas Assumptions:

The Gas Company will set and connect meters and regulators at a reasonable distance from the street mains at their expense. Metering will be done on a per unit basis or for the project as a whole pending further review by the University. Medium pressure mains looping large distances within the complex from the street mains may be a shared expense between the campus and Gas Company depending on the size and distance involved.

Gas Loads: Loads to be served are anticipated to be the following:

- Comfort/space heating,
- Domestic hot water,
- Amenities support functions etc.
- Laundry, and
- Cooking.

Fire Water Service Assumptions:

Automatic, wet pipe fire sprinklers will protect all buildings. Hazard Classifications will be determined by the requirements in NFPA 13. The systems will be hydraulically sized.

| Estimated Fire W | GPM | |
|------------------|------------------------|--------|
| Fire Hydrants | 8 at 1,500 GPM each | 12,000 |
| Sprinklers | | 1,000 |
| Total Maximum FI | ow Rate | 13,000 |

Figure 5.4.1-1: Fire Water Flow Table

Reclaimed Water Service Assumptions:

Reclaimed water will not be used within the building for plumbing fixture usage.

Meters will be placed at the buildings on water services. A dedicated water meter for the entire Phase 1 project will be provided and installed with box by the City Water Division. It is advisable to have a separate city water meter for irrigation purposes.

- Domestic water will be sized for a maximum velocity of 6'/second at design flow conditions.
- A minimum of 35 psi will be provided at all plumbing fixtures, including devices at the highest point of use in the buildings.
- Hot water will be provided to fixtures at the following temperatures: Lavatories - 110°F.

Service Sinks - 120°F.

- The calculations for hot water based on the minimum street main temperature 60°F.
- Storm drainage design will be based on a rainfall of 2" per hour.
- Sanitary drainage and vent system will be based on fixture unit count with piping at minimum slope of 1/8"/ft.
- Natural gas systems will be provided for domestic water heaters. Gas will also be provided for heating boilers or air conditioning roof top units.
- Garbage disposals shall only be connected to 3" or larger horizontal waste lines.

5.4.3 Systems Description

Water Systems

Domestic Water System (Inside the Building): Domestic water shall include buildings' distribution system to plumbing fixtures, hose bibs, and water heaters. The buildings' water supply shall connect to the new on-site water main and shall be provided with building shutoff and system drain valve for each building. Zone valves and branch valves will be provided for the interior water distribution network. Each individual unit shall be provided with shutoff valves.

Though the water quality in the area is "hard", UCR has not mandated the use of softening equipment and has reportedly disconnected some systems due to maintenance and cost burdens. As such, water softening is not a requirement at this time.

Domestic Hot Water at Child Development Center: A gas fired storage type hot water heater is to be provided in a ground floor mechanical room with expansion tank, through mains, risers and branches to plumbing fixtures. A circulating pump will maintain required hot water temperature in each system. All domestic hot and recirculation piping water will be insulated.

Domestic Hot Water for Housing Units: A dedicated gas fired water heater for hot water at each unit can provide this. Ideally, heaters should be located at the ground floor level to facilitate maintenance and replacement. Alternatively, each building can be equipped with a centralized hot water system, with hot water then being distributed to each unit. For access and serviceability, it is preferable to locate all water heaters at grade level, even those serving upper floor units.

Sanitary Drainage System

The sanitary (waste and vent) drainage system for this project consists of regular waste, indirect waste, and elevator emergency drainage.

Regular Waste: Waste and vent piping will be provided for each fixture and piece of equipment that requires such piping. Plumbing fixtures above grade will be drained by gravity through a soil waste stack and the house drain to a point set beyond the building exterior. The gravity waste piping will be installed at a slope of 1/4" per foot unless otherwise indicated or approved. Cleanouts will be provided for drainage maintenance purposes.

Indirect Waste System: Indirect waste from mechanical equipment shall discharge into the sanitary drainage system through an indirect waste connection.

Natural Gas System

Interior natural gas will serve gas fired HVAC equipment, domestic gas range, water heaters, and gas dryers. All interior gas distribution systems will be low pressure and will be connected to the on-site medium pressure distribution. An approved automatic seismic safety gas shutoff valve will be provided for entire site and will be located downstream of the meter.

Fire Protection System

Sprinklers: System shall be designed according to NFPA 13. A combined system with complete automatic fire sprinkler coverage and standpipes with Fire Department hose outlets will be provided for all the buildings. Each system shall include an

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automatic fire control assembly, a common drain outside each building and water supply through one of the standpipes located in stairwell.

The Housing and Child Development Center areas will be classified "LIGHT HAZARD" occupancy and shall be designed with a minimum density of 0.10 gpm/square feet over the most remote 1500 square feet. Head coverage shall not exceed 225 square feet in area and shall be 165°F temperature rated.

A system with complete automatic fire sprinkler coverage, with all material, equipment appurtenances as required to conform to the rules and regulations of all current applicable state and local codes, laws and ordinances applicable rating agency and the National Fire Protection Association (NFPA) will be provided.

Materials for similar uses shall be of the same type and manufacture. All components of the fire protection systems shall be UL and FM listed.

5.5 ELECTRICAL SYSTEMS

5.5.1 Codes and Standards

Codes, Regulations and Requirements: Comply with adopted applicable sections of national, state, and local codes, laws, ordinances, rules and regulations enforced by the authorities having jurisdictions. Conformance with Campus Design Standards will be applicable.

All electrical work will comply with the latest adopted editions of all codes, including, but not limited to, the following codes:

- State of California Code of Regulations (CCR)
- California Electrical Code (CEC)
- National Fire Protection Association (NFPA) including NFPA 70 (National Electric Code, NEC)
- County of Riverside, Electrical Code (NFPA 70 with Amendments)
- California Energy Commission, Title 24
- County and City of Riverside Fire Department
- City of Riverside Power utility requirements
- American with Disabilities Act (ADA)
- South Coast Air Quality Management District (SCAQMD)
- Federal Aviation Authority (FAA)
- Occupational Safety and Health Administration (OSHA)
- National Fire Protection Association (NFPA) Life Safety Code 101

Standards and Regulations Compliance

All electrical work will be in compliance with the latest editions of applicable regulations and standards including, but not limited to, the following:

- American National Standards Institute (ANSI)
- Certified Ballast Manufacturers (CBM)
- Institute of Electrical and Electronic Engineers (IEEE)
- Insulated Cable Engineers Association (ICEA)
- National Bureau of Standards (NBS)
- National Electrical Manufacturers Association (NEMA)
- National Electrical Contractors Association (NECA)
- National Electrical Testing Association
- Underwriters' Laboratories Inc. (UL)

Minimum Requirements

The above listed Codes and Regulations will form the basis of design as minimum requirements.

- Compliance with the State of California "Energy Compliance Standards"
- Code of Regulations Title 24

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5.5.2 Design Loads

Program Area Design Loads

See Figure 5.5.2-1.

Program Area Design Lighting Levels

Illumination levels will conform to the illuminance category recommendations of the current edition of the IES lighting handbook as a guide and as mandated in the State of California "Nonresidential Building Standards.

See Figure 5.5.2-2.

Family Student Housing Design Loads

| Load Type | VA/Sq. ft. |
|------------------|------------|
| Lighting | 3.0 |
| Appliance | 2.5 |
| Air Conditioning | 8.0 |
| Receptacle | 2.0 |

Figure 5.5.2-3: Program Area Center Design Loads Table

*Note: Basis assumes that the range, clothes dryer and water heaters are not electric equipment

| Program Function | Lighting | Receptacles |
|--|----------|-------------|
| Laundry, Kitchen/Pantry | 1.3 | 8.0 |
| Classrooms (Preschool, KG, Toddlers, etc.) | 1.6 | 8.0 |
| Computer Labs | 1.0 | 20.0 |
| Copy/Supply/Mail | 1.0 | 15.0 |
| Corridors, Vending | 0.6 | 0.5 |
| Electrical, Mechanical Rooms, Laundry | 0.7 | 1.0 |
| Entry/Lobby | 0.7 | 1.0 |
| Offices, Reception | 1.3 | 5.0 |
| Restrooms | 0.6 | 0.5 |
| Conference, Curriculum Room, Multi-Purpose Room, Library | 1.3 | 5.0 |
| Storage Rooms, Grounds Equipment Room | 0.6 | 1.0 |
| Telecommunications Room / Telephone Switch Room | 0.6 | 30.0 |
| Kitchen | 1.3 | 30.0 |
| Staff Lounge / Kitchenette, Break Room | 1.3 | 8.0 |
| Maintenance Shop, Grounds Shop | | 15.0 |

Figure 5.5.2-1: Program Area Center Design Loads Table

| Program Function | Average Maintained Foot Candles |
|--|---------------------------------|
| Lounge, Kitchen/Pantry | 35-45 |
| Classrooms (Preschool, KG, Toddlers, etc.) | 40-50 |
| Copy/Supply/Mail Rooms | 35 |
| Corridors | 10-15 |
| Electrical, Mechanical Rooms, Laundry | 35 |
| Entry/Lobby | 35 |
| Offices, Reception | 40-50 |
| Restrooms | 15-20 |
| Conference, Curriculum Room, Multi-Purpose Room, Library | 40-50 |
| Storage Rooms, Grounds Equipment Room | 10-15 |
| Telecommunications Room / Telephone Switch Room | 35 |
| Kitchen | 35 |
| Staff Lounge / Kitchenette, Break Room | 35 |
| Maintenance Shop, Grounds Shop | 30 |

Figure 5.5.2-2: Program Area Design Lighting Levels Table

5.5.3 Main Electrical Service

Existing Condition

The 2003 Draft Long Range Development Plan indicates that the existing 12kv substation located adjacent to the freeway has 54MVA capacity. This substation will handle approximately 14MVA of existing East Campus load.

There is no campus infrastructure on the West Campus site. The existing International Village and Parking Lot 30 are currently served by local City overhead power lines.

There are aboveground high voltage transmission lines on lowa Avenue. The University will need to negotiate with the utility company for relocating underground adjacent to the project boundary.

Proposed Electrical Service

This project schedule is ahead of the development planned east of the Family Student Housing. The development of the campus 12KV infrastructure east of the Family Student Housing will be done at a later time.

We recommend a two-phase electrical service approach for the Family Student Housing. Initially the project will be served by existing high voltage lines along Iowa Avenue. There will be provision made to connect to the campus 12KV infrastructure. Once the west campus 12KV infrastructure is developed, the University will connect the Family Student Housing project to the campus system.

We do not recommend developing the west campus 12 kV infrastructure as a part of the Phase 1 project due to the following:

Various West Campus phases are not defined

- Providing large underground duct bank now will limit future construction flexibility
- Evacuation and backfill during this project and future project on the same road
- High cost of duct bank estimated as follows:
 - Excavation, compact and backfill, \$180/LF
 - Duct bank and manhole, \$110/LF
 - 15KV Conductors for the project, \$80/LF
- There will be pad mounted transformers located adjacent to the Family Student Housing buildings, Child Development Center and near the Recreation Field area.
- There will be underground concrete encased duct bank with manholes to each transformer.
- The transformers at Family Student Housing and Child Development Center will be capable of supplying loads at 208/120 volt, 3 phase, 4 wires to suit housing loads.
- The 480/277-volt service is better suited for Recreation Field area lighting and long distance distribution.
- All transformer pads will require truck access.

Power Service Capacity

There will be multiple services provided from the lowa Avenue high voltage lines.

The service for Phase 1 is to accommodate the following:

Phase I

- 368 Family Student Housing Units
- 14,000 square foot Child Development Center
- 368 Parking Spaces at Family Student Housing
- 350 Parking Spaces at Fields Lot
- 30 Parking Spaces at the CDC
- 10 Parking spaces at the Housing Maintenance Building

- Recreation Field Lighting
- 5,500 square foot Community Center
- 2,800 square foot Housing Maintenance Building

Phase II

- 346 Family Student Housing Units
- 14,000 s. f. Child Development Center
- 346 Parking Space at Family Student Housing
- 173 Parking Spaces at the Recreation Fields

There will be a utility company substation located adjacent to lowa Avenue to serve the project. The site will be served at 12 kV to match future West Campus distribution system. There will be 12 kV underground site distribution with conduit stubs for future connection to the West Campus system.

Estimated loads are as follows:

Phase I Development

- 6.5 MVA connected load
- 3.3 MVA demand load

Phase II Development

- 5.9 MVA connected load
- 3.0 MVA demand load

Additionally, there will be an approximately 55,000 square foot recreation building in a future phase to be located adjacent to the Recreation Field area. This building is not part of the current scope. Estimated load for the recreation building is 0.8 MVA connected and 0.5 MVA demand.

We recommend that University review the possibility of accommodating the recreation service load in the

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north development, which would prove to be more cost-effective.

Metering

There will be service meter board located adjacent to each Family Student Housing building, Child Development Center and Field area. Family Student Housing meter board will include a meter for each unit. The Utility Company will provide these meters.

5.5.4 Electrical Distribution

480Y/277V and 208Y/120V distribution switchboards will be provided in the electric rooms.

Distribution at 480Y/277V and 208Y/120V to panel boards, and packaged mechanical equipment will be by means of cable feeders from distribution switchboards. The electrical distribution will have electrical risers for vertical power distribution in a stacked electrical room for lighting, receptacle power and mechanical equipment.

Dry type transformer for 208Y/120V will be provided near Recreation Fields for small equipment loads.

Branch circuit panel boards (208Y/120V and 480Y/277V) will be installed in the electrical rooms and close to the loads they serve wherever practical. All panel boards will be fully bussed, 42 circuit and utilize bolt-on circuit breakers.

Copper wiring and bussing will be used throughout.

5.5.5 Emergency Power

The Family Student Housing and Child Development Center will be provided with integral battery equipped exit lights and egress lighting in the stairs, corridors and adjacent to exit doors.

The fire alarm system will have an integral battery system.

The diesel powered emergency generator set is not planned for any of the facilities, except for the main telephone switch room. The University requested the switch room equipment, UPS, lighting, and air conditioning be on the same generator.

5.5.6 Voltage

Utilization Voltages will be as follows:

- Fluorescent and HID Lighting: 120V, 1 phase.
- Exterior Site Lighting: 120V, 1 phase, or 208V, 1 phase
- Motors Less than 1/2 HP: 120V, 1 phase.
- Motors 1/2 HP or greater: 208V, 3 phase.
- General Use receptacles: 120V, 1 phase
- Soccer field lighting: 277V, 1 phase

5.5.7 Site Lighting

Building exterior, walkways and landscape lighting will be designed to compliment the architecture. Campus standard will apply for walkway areas. The fixtures will be controlled with photocell and/or time clock with lighting control system. The fixtures will be selected with lower cut offs to reduce light pollution and light spillage in bedrooms.

The Campus exterior lighting standards are based on Pentland Hills Phase 2.

The general area lighting fixture will be double or single Cobra head with total height of 32'-6". Provide inline fuse holder in the base of the pole. Fixture manufacturer: General Electric No. M520A2. Pole manufacturer: Ameron No. AMRC-5C1-25F8D. Lamps: 1 or 2 – 250W, high pressure sodium, 480V.

5.5.8 Field Lighting

The Recreation Field lighting will be designed for recreation grade standard.

The following sports lighting performance will be applied:

- Maintained foot candles = 30
- Maximum to minimum uniformity ratio = 3.0:1.
- Uniformity Gradient (UG) = 1.7
- Coefficient of Variance (CV) = 0.28
- Flare / Spill light levels 100' from area of lighting=
 - (a) Maximum foot candles = 1.0
 - (b) Foot candles with meter aimed toward brightest light bank = 1.5-2.0.
 - (c) Arc tube will not be visible at greater than 35° angle.
- Fixture candle power will not exceed value of 12,000.

Light Structure

The structure will include steel pole, cross arm assembly, wire harness, and electrical component enclosure. Light poles will provide for future camera and connections. The foundation will be designed to meet wind speed of the area.

Luminaire

The luminaire will be NEMA 3R, 1500 MH with aluminum reflector and alzak finish. The fixtures will have internal and external glare control. The University's preference is MUSCO Type – TLCMZ. The typical pole height of 70' with 350' x 150' spacing pattern will be required to meet lighting performances criteria. Each pole may have 8 to 12 light fixtures.

5.5.9 General Lighting

General illumination for the building interior will conform to the energy limitation and control requirements of the California Conservation Code and the recommendations of the current edition of the IES Lighting Handbook.

Family Student Housing rooms, hallways, toilets, Child Development Center classrooms and support areas will be commercial fluorescent type fixtures with T8, SPX Series 4100K fluorescent lamps and rapid start electronic ballasts. Fixtures will be recessed, surface or pendant mounted to suit the design.

Where recessed downlights are used, compact fluorescent lamps are provided. Incandescent lamps will be limited to special applications.

Exit signs will use long life LED type lamps.

Lighting in mechanical/electrical equipment rooms will be industrial type fluorescent fixtures with T8, SPX Series 4100K fluorescent lamps and rapid start electronic ballasts.

Lighting Control

Lighting control system to meet Title 24 requirements.

Local wall switches and occupancy sensors shall control lighting in common areas. Lighting in offices will be controlled be occupancy sensors with dual level wall switches.

In large classrooms local dimming system will be provided.

5.5.10 Grounding

A grounding system will be provided for all the transformers, switchboards, metallic conduits, and raceways. A ground bus bar will be provided in each electrical room. A ground loop will be provided in the main electrical room. A ground conductor will be provided in each telephone and data room from the adjacent ground box.

The ground system resistance will be 5 ohm or less.

The service grounding will be provided at the service substation with ground rod, cold water lines and building steel.

All electrical equipment will be grounded.

5.5.11 Fire Alarm System

An addressable-point fire alarm system will be designed for standard low rise building operation conforming to all state and local codes. The system will include a graphic annunciator panel located at the first floor and a remote fire alarm annunciator panel located on the outside wall, at the Fire Department response point. Terminal cabinets will be located on each floor to serve various devices. The building fire alarm system shall report to the central campus fire alarm system via the fiber optics communication network. The system will include the following:

- Manual pull stations
- Water flow alarms
- Sprinkler valve tamper supervision
- Smoke detectors in bedrooms
- Smoke detectors in equipment rooms
- ADA strobes
- Horns
- Smoke detection with local visual and audible alarm in ADA compliance housing unit

Campus preference is Simplex System.

The system will provide alarm and trouble signals to the University of California, Riverside Central Fire Alarm console via campus fire alarm proprietary cable plant.

All wiring shall be installed in conduit.

5.5.12 Communication Systems

Voice/Data Systems

The building will receive Voice/Data service from the campus communication network via a fiber optic system. Per campus facility personnel there are existing (4) 4" conduits stubbed at the corner of Iowa Avenue and Everton Place. These conduits will have campus telephone and fiber cables and will be extended to the Family Student Housing site. There will be underground voice/data duct bank with manhole throughout site connecting each housing buildings, Child Development Center and Recreation Fields area, the Community Center and Housing Maintenance Building. This project will be connected to the campus phone system.

Voice/Data outlets will be provided in the housing units, classrooms, offices and staff rooms as per the programming requirements.

All cabling and faceplates will be furnished and installed per the campus standard.

There will be a main telephone switch room of approximately 300 s. f. for the project. The room will have dedicated air conditioning. The equipment, lighting and air conditioning system will be on the generator.

The main Distribution Frame (MDF) will be located on the first floor.

Each floor will have vertically aligned Intermediate Distribution Frame (IDF) located so that the work station cable run will not exceed 250 linear feet.

The system will include complete riser cables, fiber optics, backboards, conduits, boxes and cable tray as required.

Cable Television System

The Charter Cable Company is the local provider for the area. Empty conduit system will be extended from the adjacent public street to the main head end room located either in Child Development Center or Housing units. Campus wide conduit duct bank and manholes will be provided connecting each building.

Each building will have System Terminal Cabinet to terminate coaxial cables and to mount signal amplifiers.

Each floor will have system terminal cabinet. Each housing unit will have cable TV outlets in Family/Living rooms and bedrooms. Coaxial cable will be provided from each TV outlet to the floor terminal cabinet.

University may make arrangement to buy bulk cable rate. University representative to investigate with the cable provider in future.

The structural design for this project should provide building systems, which will accommodate the specific program requirements for each building type, as well as the architectural and building systems needs. The structural design is to meet current code standards for the vertical load carrying capacity and for seismic safety. In the design phases, a soil report will be required.

The following design criteria should be used for this project.

- Structural sections of the 2002 California Building Code, as a guide only
- Seismic Zone 4
- UCR Standards for Housing Construction as provided by the University

Construction Systems

Durability, deferred maintenance, availability and lead time of structural components and any effects on the construction schedule should be considered in the selection of the structural system.

5.6.1 Townhouse Units and Apartments

The Townhouse units will be two-story structures constructed in groups of attached units. The apartment units will be two-story (or two and threestory) structures

Possible construction types to consider are as follows:

Conventional Wood-Framed Construction

Conventional wood framed roof and second floor with plywood or Oriented Strand Board sheathing. Lightweight concrete fills for second floor sound control. Ground floor concrete slab-on-grade with shallow continuous footings. Conventional wood framed 2x4 or 2x6 wood stud walls with plywood or Oriented Strand Board sheathing on exterior walls and shear walls.

Metal-Framed Structure

Metal rafters and metal floor joists with plywood or Oriented Strand Board sheathing. Ground floor concrete slab-on-grade with shallow continuous footings. Metal stud exterior and interior walls with plywood or Oriented Strand board sheathing on exterior and shear walls for sound attenuation. (Possible use of concrete and metal deck for the second floor in lieu of plywood floor sheathing, and steel braced straps on the walls in lieu of plywood sheathing on the exterior and shear walls.)

5.6.2 Child Development Center and Community Center

These will be one story structures with a total square footage of approximately 14,000 square feet and 5,500 square feet respectively. Large open rooms will require some large span roofs. Possible construction types to consider are as follows:

Conventional Wood-Framed Construction

Conventional wood framed roof. Ground floor concrete slab-on-grade with shallow continuous footings. Conventional wood framed 2x4 or 2x6 wood stud walls with plywood or Oriented Strand Board sheathing on exterior walls and shear walls. Primary load bearing system of glue-laminated or steel beams with truss system.

Combination Wood-Framed or Bar Joist and Concrete Block Wall Construction

Conventional wood-framed or bar joist roof. Ground floor concrete slab-on-grade with shallow continuous footings. Concrete block party walls and exterior walls. Other interior wood framed walls to be conventional 2x4 wood stud framed. Primary load bearing system of glue-laminated or steel beams with truss system.

Metal-Framed Structure

Metal rafters with plywood or Oriented Strand Board sheathing. Ground floor concrete slab-on-grade with shallow continuous footings. Metal stud exterior and interior walls with plywood or Oriented Strand Board sheathing on exterior and shear walls. Primary load bearing system of steel beams and columns.

5.6.3 Housing Maintenance Building and Neighborhood Park Facility

The Housing Maintenance Building is a 2,800 square foot, single story building for shop type use. The park facility will be 1,500 square feet and will support public restrooms, vending and trellised patio space.

Conventional Wood-Framed Construction

Conventional wood framed roof, with plywood or Oriented Strand Board sheathing. Ground floor concrete slab-on-grade with shallow continuous footings. Conventional wood framed 2x4 or 2x6 wood stud walls with plywood or Oriented Strand Board sheathing on exterior walls and shear walls.

Combination Wood-Framed or Bar Joist and Concrete Block Wall Construction

Conventional wood-framed or bar joist roof, with plywood or Oriented Strand board sheathing. Ground floor concrete slab-on-grade with shallow continuous footings. Concrete block exterior walls and possibly fire separation walls that might be required.

Metal-Framed Structure

Metal rafters with a corrugated metal deck with open web bar joist roof. Ground floor concrete slab-ongrade with shallow continuous footings. Metal stud or concrete block exterior and metal stud interior walls.

5.7 ARCHITECTURAL MATERIALS AND CHARACTER

5.7.1 Architectural Materials

Materials that will create a finished project that is esthetically pleasing, desirable, serviceable and cost effective should be selected The budget has been based on the following materials:

Exterior

| Facility | Roofing | Walls | Fences | Walking Surfaces |
|--------------------------|-------------------------------|---|--------------------------|-----------------------------|
| Family Student Housing | Concrete tile | Plaster: Dash (Spray –on), Integral color Alt: Composite Siding | Wrought Iron (if fenced) | Concrete |
| Child Development Center | Concrete tile Wood trellis | Plaster (same as above) | Wrought iron | Concrete |
| Recreation Fields | N/A | N/A | Chain link | Concrete |
| (& Experimental Groves) | Concrete tile | Concrete Maconny | N/A | Decomposed granite |
| Neighborhood Park | Concrete tile Wood trellis | Concrete Masonry | N/A | Concrete: Colored |
| Tot Lot | N/A | N/A | Wrought iron | Concrete, rubber |
| Community Center | Concrete tile | Plaster (same as above) | Wrought iron (if fenced) | Concrete: Colored & Stamped |
| Housing Maintenance | Concrete tile | Plaster (same as above) | Chain link | Concrete |
| Building | | Concrete Masonry | | |

Interior

Figure 5.7-1: Exterior Architectural Materials Table

| Facility | Interior Walls | Ceilings | Floors | Windows |
|---------------------------------|---|--|---|------------------------------|
| Family Student Housing | 5/8 Gypsum Board Spray finish/Painted | 5/8 Gypsum Board Spray finish/Paint | Carpet: Solution Dyed & Glue down Vinyl: Sheet & Tile | Vinyl (sliding) |
| Child Development Center | (same as above) Washable wall covering | | Carpet Vinyl: Sheet & Tile | Steel/Aluminum |
| Neighborhood Park | (same as above) | | Concrete: Colored (selectively) | Steel/Aluminum/Glass Masonry |
| Community Center | (same as above) Wall covering | Open structure as appropriate | Carpet Tile | Steel/Aluminum |
| Housing Maintenance Building | (same as above Exposed CMU | Open structure as appropriate | Concrete (Offices: Carpet) | Steel/Aluminum |

Figure 5.7-2: Interior Architectural Materials Table

5.7.2 Architectural Character

The project has been conceived as a primarily pitched roof design with some flat roof areas. Architectural sunscreens and unit identity through façade articulation are desired, as the budget allows.

It is important that the consultant schedule a conceptual design review with the UCR Design Review Board in order to establish the architectural character in the early stages of design.

All roof top equipment will be screened from public view.

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5.8 NOISE AND ACOUSTICS

Outside Noise

Sites adjacent to Iowa Avenue are to be planned in such a way as to limit street noise.

Noise from Adjacent Functions/Units

The Child Development Center and the Community Center shall have sound insulation between areas of higher noise generation and quieter spaces to provide air borne sound insulation equal to sound transmission class (STC) 50.

All administrative areas are to have wall and ceiling assemblies providing airborne and impact sound insulation equal to sound transmission class (STC) 50.

Residential units shall have wall and floor assemblies separating individual living units providing airborne and impact sound insulation equal to sound transmission class (STC) 50.

Mechanical Vibration and Noise Control

System components are to be evaluated to determine the most cost-effective approach to controlling transmitted noise and vibration. This is especially crucial for roof-mounted equipment, which are directly above occupied areas. The Engineering Consultants must work closely with the Executive Architect and Acoustical Consultant to properly address these design and construction related issues as the design progresses.

Principal measures to include proper location of mechanical equipment, selections with lower inherent noise levels, spring vibration isolation bases for equipment, thickened structural slabs or elevated platforms at equipment bases, duct silencers, flexible couplings at rotating equipment and vibration isolation hangers for piping systems in proximity to pumps.

Where duct lining may be required at the inlet and discharge of air handling equipment, its use should be limited to the extent possible.

Mechanical systems to be designed in accordance with standard accepted practice to control noise and vibration transmission to occupied spaces using UCR Standards and detailed requirements set forth by the Acoustical Consultant.

5.9 SECURITY

The project will have a security system per University requirements.

The security system will consist of an intrusion detection system, a door access and control system and a closed circuit video surveillance system. The system will also report to the Security Station at the Pentland Project.

Owner will provide all equipment and wiring under separate contact. The electrical contractor will provide backboards for equipment, conduit, cable and back boxes only.

Security systems shall be provided for the Child Development Center, Community Center, Recreation Fields perimeter, Recreation Fields Housing Maintenance Building, Family Housing perimeter and all parking lots. The Campus has indicated a preference for the following systems:

Child Development Center

- Housing Operations has made the decision to use Lenel software & hardware components as the primary operations platform for all access control including locks, cameras, DVR's, & alarms.
- IDH Max prox readers by BEST ACCESS SYSTEMS, hard wired
- Mullion mounted prox readers on store front applications Lenel LPMM-6800
- Electrified VonDuprin hardware 33 series
- Detex brand removable mullion for lobby doors, heavy duty model #F90KR
- Lenel card reader at lobby and all card reader locations

- Lenel card readers with door position switches on all gates in play area
- Pelco pan, tilt, zoom (PTZ's) lobby, all exterior including parking lots.
- Central viewing station preferably at the lobby desk a 2nd at Access Control Room
- DVR's (Digital Video Recorders) are to be Pelco DX 7000 series w/PTZ function
- Software to include Pelco motion detection sensor
- Fixed cameras (if any) are to have "vara-focal" wide angle lenses

Child Development Center-Priority 1 Wish List

- Infant Child Tag system, locks all doors when unauthorized exit is attempted
- Facial Recognition system to prevent wrongful removal of children
- Remote/hardwired panic buttons throughout building for police notification
- On site central access control room and monitoring station

Community Center

The Community Center shall be provided with essentially the same security access and monitoring components as the Child Development Center (excepting the wish list items). The second monitoring station function shall be in the Child Development Center Access Control Room.

Recreation Fields Perimeter

- Lenel based Platform:
- Each gate requires HID Maxiprox long-range proximity reader (or Lenel equivalent)

- BAS/LENEL model LNL-1000 access control processor
- BAS/LENEL model 1320 dual card reader interface module
- Dialup Modem Cable

Housing Maintenance Building

The Housing Maintenance Building shall be fenced with keyed locking only. Access control for building entrances shall be either local or networked card key access or keyed locking depending on entrance type / function.

Family Student Housing Perimeter

A continuous wrought iron perimeter fence has been included in the cost plan as an additive alternate. The design team should review this alternate with the Campus to determine the type and configuration of fencing and gates. Vehicular access to the Family Student Housing is to be controlled in any case based on the following Campus Housing Standard:

- Lenel based Platform:
- Each gate requires
- HID Maxiprox long-range proximity reader (or Lenel equivalent)
- BAS/LENEL model LNL-1000 access control processor
- BAS/LENEL model 1320 dual card reader interface module
- Dialup Modem Cable
- ALTRONIX AL300ULM controller power supply w/rechargeable batteries

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The Campus has provided the following additional recommendations:

- Gated community requires track or rolling gates, barrier arms will not provide needed security therefore we recommend a V-Grove or rolling slide gate operated by above system.
- We also recommend a pedestrian gate next to the vehicle gate, both wired for phone dialer interface so residents can permit guests (or authorized delivery) access.
- Depending upon street configuration and available street parking providing residents with an HID ProxPass Active Vehicle tag is suggested. Since the rolling gate is considerably slower than a barrier arm, the ProxPass will prevent traffic back up as well as reduce the potential for "tailgaters" to enter without authorization.
- Gates are to be wired to open automatically when a fire alarm is triggered or have a Knox box for fire truck access. This will depend upon what fire protection system is installed and the Fire Marshall's input. If dedicated emergency vehicle access points are required, consult the Campus for Barrier Arm Equipment standards.
- Cameras wired to both the RSO and the Pentland Hills Surveillance control room with gate opening capability.
- Face Recognition system wired to gates to assist residents who may have lost their access cards.
- It is also suggested that a 4 or 6 car parking area be provided for guests who need to dial in. This too will prevent traffic back-ups.
- For maximum security, separate, shorter access & egress gates are also suggested; reducing the amount of time security can be breached.

• Cantilever swing gates are an alternative to rolling gates, depending upon space and location. Either option is workable with the same operating systems and devices.

Parking Lots

All parking lot areas shall be lighted and provided with emergency phone systems conforming with Campus standards. "Code Blue" emergency phone units are the current Campus standard and compatibility with this system is essential. The emergency phone system shall be comprised of the following components:

- Components as required for integration with Campus Police Central Monitoring Base Station.
- Emergency Bollards with speakerphone, video camera and lens, strobe and area/identity light.
- Emergency Telephone Stations with speakerphone, two (2) call buttons and enclosure for flush or surface mounting.

5.10 IRRIGATION

The following are Campus irrigation system standard requirements for Phase I of the project. Compatibility with existing Campus systems is essential. All landscaped areas are to comply with these standards (The Campus should be consulted regarding the proprietary nature of these systems as "no substitutes" have been requested). All landscape areas are to be provided adequate drainage and water run-off recovery. Supply water source to be provided with back flow preventors.

Controllers:

- (4) each Toro-Sentinel-Wireless 64 station controllers.
- Valve controllers: Flowmaster

Valves:

• Rain Bird, Brass

Sprinkler Heads:

- Small planters and turf areas: Toro 570 sprinkler heads.
- Large planter areas: Hunter I-20 and Hunter I-40 sprinkler heads.
- Large turf areas such as play fields: Hunter I-20 and Hunter I-40 sprinkler heads.

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6.0 FACILITY REQUIREMENTS: DESIGN CRITERIA

This section contains the detailed basis of design, including each facility type and room.

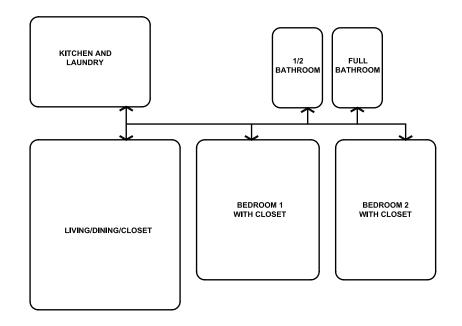
6.1 HOUSING UNITS

6.1.1 General Housing Unit Housing Units

| Description | Housing unit for student family |
|------------------------|---|
| Quantity | 368 |
| GSF | 1,045 average |
| Number of | 2-6 / unit |
| Occupants | |
| Adjacency Requirements | West Campus Community functions such as Recreation Fields, |
| | Neighborhood Parks, Tot Lots, Parking, Community Center etc. |
| Activities | See Room Data Sheets |
| Days of use | Weekdays: M-F |
| | Weekends: S-S |
| Hours of use | 24 hours per day |
| Ceiling Height | 8'-0" – 9'-1" (10'-0" floor-to-floor) |
| Finishes | |
| Floor | Commercial carpets (32 ounce per SY, glued down) over slab on |
| | grade or gypcrete in 2 nd floor with Vinyl Flooring in bathrooms, |
| _ | kitchens and entries. |
| Base | 4" Resilient Cove Base, Typ. |
| Walls | Painted Gypsum Board, Texture Finish (Level 4) |
| Ceiling | Painted Gypsum Board, Texture Finish (Level 4) |
| Line of Sight | Views to the north and east (the mountains and the UCR East |
| | Campus core) should be maximized. |
| Doors | Exterior: Acoustic, solid core with screen door (security-type with |
| | bolt). 6'-8" Typ. Interior: Hollow core with solid core in bathrooms Typ. (No pocket |
| | |
| Windows | doors). Provide safety glazing as required, dual glazing at all areas where |
| WINDOWS | thermal and acoustic control is required. All east, south and west |
| | exposures should be provided with passive solar shading devises. |
| | Frames should be durable and low maintenance. Prefer sliding. |
| | casements are problematic. Not recessed. |
| Storage | Ample storage within each unit |
| Signage | Building and entry identification, way finding, accessibility and exiting |
| | signage should be provided. Parking entry / drop-off, accessibility and |
| | control signage shall also be provided. |
| Security | Dead bolts on front doors. UCR standard infill. |
| Special Requirements | Community design should allow for interaction between neighbors + |
| - | neighborhood security. |

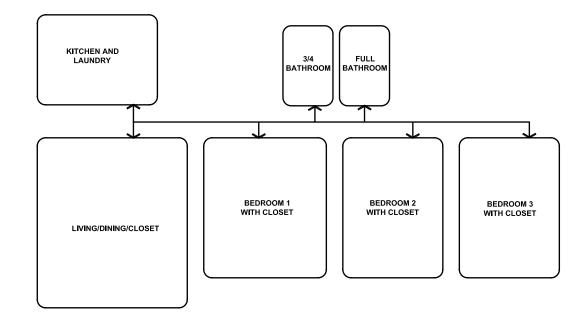
| Future Considerations | Future uses may include faculty or single student housing. |
|-----------------------|---|
| Systems | |
| Mechanical | Split system HVAC (2 systems for 2 story units), bathroom and kitchen to have outside exhaust. |
| Plumbing | Waste and Vent: ABS piping in lieu of cast iron for the 2 story units. Sprinklers: R13 |
| Lighting | See Room Data Sheets |
| Power | Romex only, no conduit or armor. |
| | Electricity: Individually metered (by utility supplier) |
| Communications | |
| Data | In each room (living and bedrooms) |
| Telecom | In each room (living and bedrooms) |
| Video | CATV |
| Acoustics | STC 50 min. for party walls and floors/ceilings only. Main concern is between units, not an internal issue |
| Room Contents | |
| Group I | |
| Built-ins | See Storage and Special Requirements sections |
| Group II & III | |
| Movable-Equip. | See Room Data Sheets |
| Furnishings | See Room Data Sheets |

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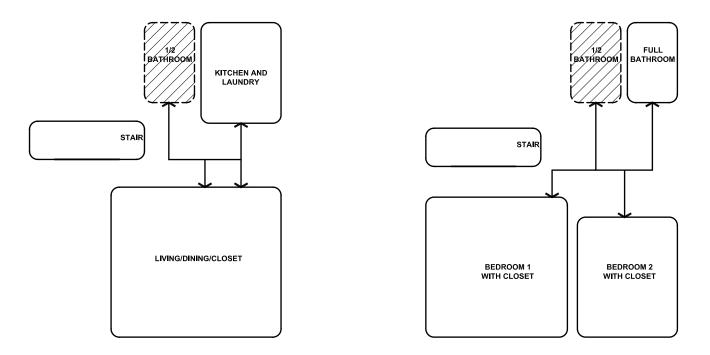
APARTMENT ADJACENCIES TWO BEDROOM CONFIGURATION (ENTRY LOCATION APPROPRIATE TO DESIGN)

Figure 6.1.1-1: Housing Units Apartment Adjacencies, Two Bedroom Diagram



APARTMENT ADJACENCIES THREE BEDROOM CONFIGURATION (ENTRY LOCATION APPROPRIATE TO DESIGN)

Figure 6.1.1-2: Housing Units Apartment Adjacencies, Three Bedroom Diagram



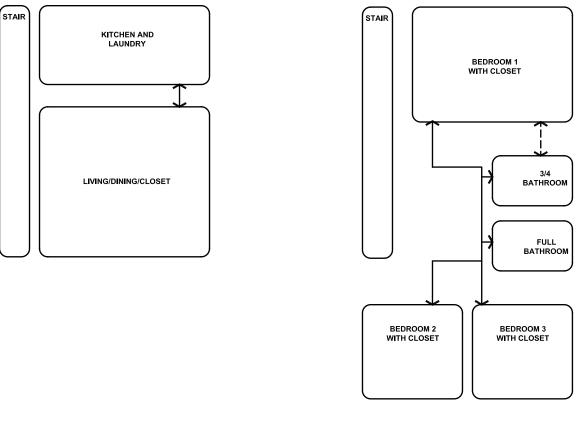
FIRST FLOOR

SECOND FLOOR

TOWNHOUSE ADJACENCIES TWO BEDROOM CONFIGURATION

NOTE: 1/2 BATHROOM MAY BE LOCATED ON EITHER FLOOR (ENTRY LOCATION APPROPRIATE TO DESIGN)

Figure 6.1.1-3: Housing Units Townhouse Adjacenies, Two Bedroom Diagram



FIRST FLOOR

SECOND FLOOR

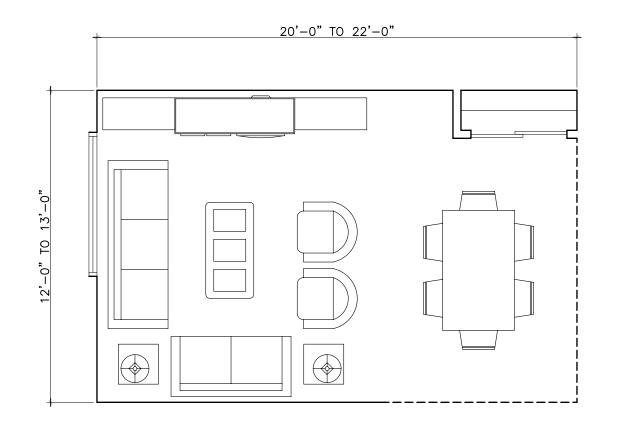
TOWNHOUSE ADJACENCIES THREE BEDROOM CONFIGURATION (ENTRY LOCATION APPROPRIATE TO DESIGN)

Figure 6.1.1-4: Housing Units Townhouse Adjacencies, Three Bedroom Diagram

6.1.2 Entry/Living/Dining Area Housing Units

| Acoustics | See General Unit data |
|------------------------|--|
| Video | CATV |
| Data Telecom | Yes |
| Communications | Yes |
| Power | 2 switched outlets, half hot |
| Lighting | Track or recessed lights in dining area |
| Plumbing | N/A |
| Mechanical | No Special Requirements |
| Systems | |
| Future Considerations | See General Unit data |
| Special Requirements | No Special Requirements |
| Storage | Coat closet accessible to entry |
| Windows | See General Unit data |
| Doors | See General Unit data |
| Ceiling | Painted Gypsum Board |
| Walls | Painted Gypsum Board |
| Base | 4" Resilient Cove Base |
| | Living: Carpet |
| Floor | Entry/Dining: Vinyl Flooring; |
| Finishes | |
| Ceiling Height | 8 feet minimum |
| Hours of use | 24 hours per day |
| 54,00,000 | Weekends: S-S |
| Days of use | Weekdays: M-F |
| Activities | Eating, play, study, relaxation, etc. |
| Adjacency Requirements | Kitchen, unit circulation |
| Occupants | 2-0 |
| Number of | 2-6 |
| ASF | 260 |
| Quantity | One |
| Description | Entry from exterior, Living Room, Dining area, with closet |

| Room Contents Group I | |
|--------------------------|--|
| Built-ins | Removable or drop down casework panel to separate living/dining room from kitchen. |
| Group II & III | |
| Movable-Equip. | N/A |
| Furnishings | Couch, chairs, end tables, dining table, entertainment center, |
| - | television |





ENTRY / LIVING / DINING AREA 260 ASF

> Figure 6.1.2-1: Housing Units Entry / Living / Dining Area Room Diagram

6.1.3 Kitchen & Laundry Housing Units

| Description | Kitoboo ood buuday |
|------------------------|---|
| Quantity | Kitchen and laundry |
| ASF | Une 104 |
| | |
| Number of | 2-3 |
| Occupants | D'éta ana |
| Adjacency Requirements | Dining area |
| Activities | Food preparation, storage |
| Days of use | Weekdays: M-F |
| | Weekends: S-S |
| Hours of use | 24 hours per day |
| Ceiling Height | 7'-0" min. |
| Finishes | |
| Floor | Vinyl Flooring |
| Base | 4" Resilient Cove Base |
| Walls | Washable, Painted Gypsum Board |
| Ceiling | Washable, Painted Gypsum Board |
| Line of Sight | No Special Requirements |
| Doors | See General Unit data |
| Windows | See General Unit data |
| Storage | Ample storage, maximize cupboard space with open shelves and |
| | adjacent, pantry |
| Special Requirements | Maximize counter space |
| Future Considerations | No Special Requirements |
| Systems | |
| Mechanical | Vent hood to exterior |
| Plumbing | Self-rimming, stainless steel double sink with garbage disposal |
| Lighting | Recessed spotlights or fluorescent lighting at sink and range |
| Power | Switched lights at entry to kitchen, counter-height, 4-plex outlets |
| Communications | |
| Data | No Requirements |
| Telecom | Yes |
| Video | No Requirements |
| Acoustics | See General Unit data |

| Room Contents Group I | |
|--------------------------|---|
| Built-ins | Movable casework panel to separate living/dining room from kitchen as appropriate to design, coved counter with backsplash, 4-burner gas oven and broiler, dishwasher |
| Group II & III | |
| Movable-Equip. | Microwave, 20 cubic foot refrigerator, full-size stacked washer/dryer combination (need not be "in" kitchen) |
| Furnishings | Coffee maker, toaster oven, other kitchen appliances, possible kitchen table with chairs |

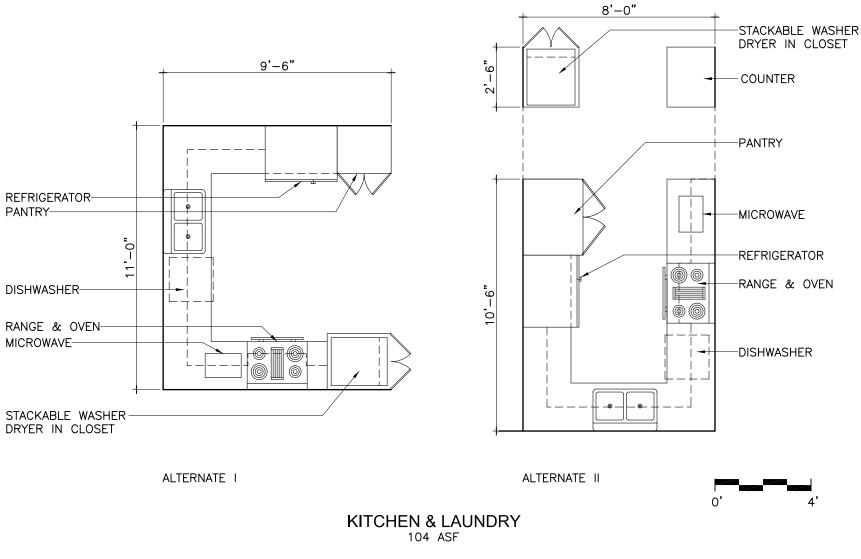
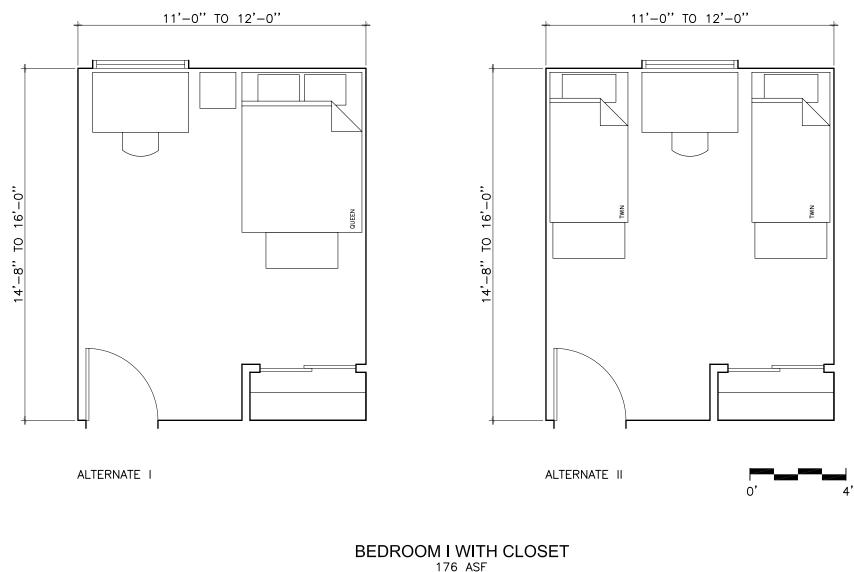


Figure 6.1.3-1: Housing Units Kitchen & Laundry Room Diagram

6.1.4 Bedroom I Housing Units

| Description | Larger bedroom |
|------------------------|---|
| Quantity | One |
| ASF | 176 |
| Number of | 2 |
| Occupants | |
| Adjacency Requirements | Circulation, bedroom II (and III), bathroom |
| Activities | Sleeping, study, relaxation, play |
| Days of use | Weekdays: M-F |
| - | Weekends: S-S |
| Hours of use | 24 hours per day |
| Ceiling Height | 8' minimum |
| Finishes | |
| Floor | Carpet |
| Base | 4" Resilient Cove Base |
| Walls | Painted Gypsum Board |
| Ceiling | Painted Gypsum Board |
| Doors | See General Unit data |
| Windows | See General Unit data |
| Storage | Clothes closet |
| Special Requirements | No Special Requirements |
| Future Considerations | See General Unit data |
| Systems | |
| Mechanical | No Special Requirements |
| Plumbing | N/A |
| Lighting | Switched, center mounted light |
| Power | Multiple outlets |
| Communications | |
| Data | Yes |
| Telecom | Yes |
| Video | CATV |
| Acoustics | See General Unit data |

| Room Contents Group I Built-ins | No Special Requirements | |
|---------------------------------------|---|--|
| Group II & III | | |
| Movable-Equip. | No Special Requirements | |
| Furnishings | Bed, end tables, lamps, possible desk and chair, bureau, wardrobe | |



NOTE: DIMENSIONS ARE SHOWN AS A RANGE FOR FLEXIBILITY IN DESIGN

Figure 6.1.4-1: Housing Units Bedroom I Room Diagram

6.1.5 Bedroom II & III Housing Units

| Description | Smaller bedroom(s) with closet |
|------------------------|-----------------------------------|
| Quantity | One or two |
| ASF | 135 each |
| Number of | 1-2 |
| Occupants | |
| Adjacency Requirements | Circulation, bedroom I, bathroom |
| Activities | Sleeping, study, relaxation, play |
| Days of use | Weekdays: M-F |
| - | Weekends: S-S |
| Hours of use | 24 hours per day |
| Ceiling Height | 8' minimum |
| Finishes | |
| Floor | Carpet |
| Base | 4" Resilient Cove Base |
| Walls | Painted Gypsum Board |
| Ceiling | Painted Gypsum Board |
| Doors | See General Unit data |
| Windows | See General Unit data |
| Storage | Ample storage. 4' minimum opening |
| Special Requirements | No Special Requirements |
| Future Considerations | See General Unit data |
| Systems | |
| Mechanical | No Special Requirements |
| Plumbing | N/A |
| Lighting | Switched, center mounted light |
| Power | Multiple outlets |
| Communications | |
| Data | Yes |
| Telecom | Yes |
| Video | No Requirements |
| Acoustics | See General Unit data |

| Room Contents Group I Built-ins Group II & III | No Special Requirements | |
|---|---|--|
| Movable-Equip. | No Special Requirements | |
| Furnishings | Bed, end tables, lamps, possible desk and chair, bureau, wardrobe | |



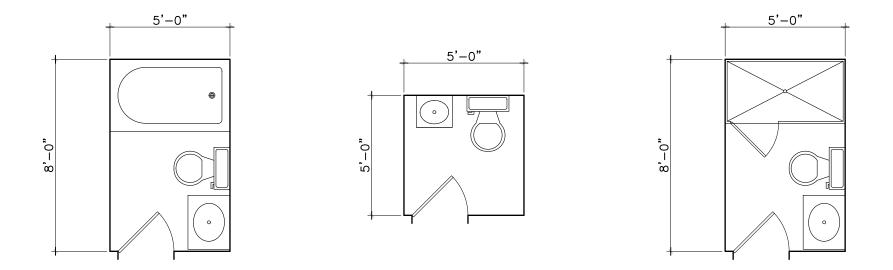
NOTE: DIMENSIONS ARE SHOWN AS A RANGE FOR FLEXIBILITY IN DESIGN

Figure 6.1.5-1: Housing Units Bedroom II & III Room Diagram

6.1.6 Bathrooms I, II & III Housing Units

| Description | Bathrooms with linen closets |
|------------------------|--|
| Quantity | Each two bedroom unit receives 1 1/2 baths |
| - | Each three bedroom unit receives 1 ³ / ₄ baths |
| ASF | Bathroom: 40 |
| | Powder Room: 25 |
| Number of | 1 |
| Occupants | |
| Adjacency Requirements | Circulation, Bedrooms I, II (and III) |
| Activities | Hygiene |
| Days of use | Weekdays: M-F |
| | Weekends: S-S |
| Hours of use | 24 hours per day |
| Ceiling Height | 7' minimum |
| Finishes | |
| Floor | Vinyl Flooring |
| Base | 4" Resilient Cove Base |
| Walls | Washable Painted Gypsum Board |
| Ceiling | Washable Painted Gypsum Board |
| Doors | See General Unit data |
| Windows | See General Unit data |
| Storage | Linen closet, counter space, mirrored medicine cabinet |
| Special Requirements | No Special Requirements |
| Future Considerations | See General Unit data |
| Systems | |
| Mechanical | Exhaust fan, operable windows where possible |
| Plumbing | Single sink, toilet, tub/shower (in full bath), shower (in ³ / ₄ bath) |
| Lighting | Fluorescent |
| Power | Counter height outlets |
| Communications | |
| Data | No Requirements |
| Telecom | No Requirements |
| Video | No Requirements |
| Acoustics | See General Unit data |

| Room Contents Group I | | |
|-----------------------------|-------------------------|--|
| Built-ins Group II & III | See Storage | |
| Movable-Equip. | No Special Requirements | |
| Furnishings | No Special Requirements | |





BATHROOM I: FULL 40 ASF BATHROOM II: 1/2 25 ASF

BATHROOM III: 3/4 40 ASF

Figure 6.1.6-1: Housing Units Bathrooms I, II & III Room Diagrams

6.1.7 Covered Patio Housing Units

| Description | Covered patio |
|------------------------|-------------------------------|
| Quantity | One |
| ASF | 30 (@ 50%) |
| Number of | 2-5 |
| Occupants | |
| Adjacency Requirements | Living/dining or kitchen |
| Activities | Barbecue, gardening |
| Days of use | Weekdays: M-F |
| • | Weekends: S-S |
| Hours of use | 24 hours per day |
| Ceiling Height | 8' minimum |
| Finishes | |
| Floor | Cement with soil perimeter |
| Base | N/A |
| Walls | N/A |
| Ceiling | Trellis or some other shading |
| Line of Sight | |
| Doors | No Special Requirements |
| Windows | No Special Requirements |
| Storage | No Special Requirements |
| Signage | UCR standard |
| Security | UCR standard |
| Special Requirements | Prefer fenced |
| Future Considerations | See General Unit data |
| Systems | |
| Mechanical | N/A |
| Plumbing | Outdoor hose bib |
| Lighting | Wall mounted area lighting |
| Power | N/A |
| Communications | |
| Data | No Requirements |
| Telecom | No Requirements |
| Video | No Requirements |
| Acoustics | N/A |

| Room Contents Group I | |
|--------------------------|---|
| Built-ins | See Storage and Special Requirements sections |
| Group II & III | |
| Movable-Equip. | N/A |
| Furnishings | Patio furniture, barbecue |

Plan per code.

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6.2 CHILD DEVELOPMENT CENTER

General Facility Child Development Center 6.2.1

| Description | Center for daytime use | |
|------------------------|---|---|
| Quantity | One | |
| GSF | 14,000 square feet + covered play yard | |
| Number of | Staff | Volunteers |
| Occupants (staff, | Full Time: 30 | Full Time: 10 |
| parents, volunteers) | Part time: 15 | Part time: 10 |
| | | Parents: 160 |
| Number of | Infants: 12 | Kindergarten: 24 |
| Occupants (students) | Toddlers: 36 | Full Time: All (144) |
| | Pre-School: 72 | |
| Adjacency Requirements | | thwest Mall. Vehicle access is to be from the |
| | Northwest Mall. The facil | ity should visually and acoustically shield the |
| | outdoor play areas from traffic. | |
| Activities | See Room Data Sheets. | |
| Days of use | Weekdays: Monday – Friday | |
| Hours of use | 7 am – 6 p.m. | |
| The "Big Idea" | The Center should reflect a warm environment. Extensive windows | |
| | should enhance indoor/ o | utdoor integration. |
| Ceiling Height | There should be ample space in the indoor environment, bright and | |
| | open rather than dark and | d closed. |
| Finishes | | |
| Floor | | offer both quiet carpeted areas and hard leanup. Carpeting should be antibacterial. |
| | | cilitate ease of replace as needed. |
| Base | 4" Resilient Cove Base, T | |
| | ' | floor areas in toilet rooms |
| Walls | ' | be durable and washable particularly the |
| | lower half. | |
| Ceiling | All ceiling surfaces shou | ld be durable, washable at wet and service |
| U U | function areas, and provid | |
| Hallways and | | urfaces should be provided for art exhibits. A |
| Corridors | variety of surface texture | s are encouraged. Entrances to classrooms |
| | should provide interest ar | nd be inviting to students. |
| Line of Sight | See Room Data Sheets. | |

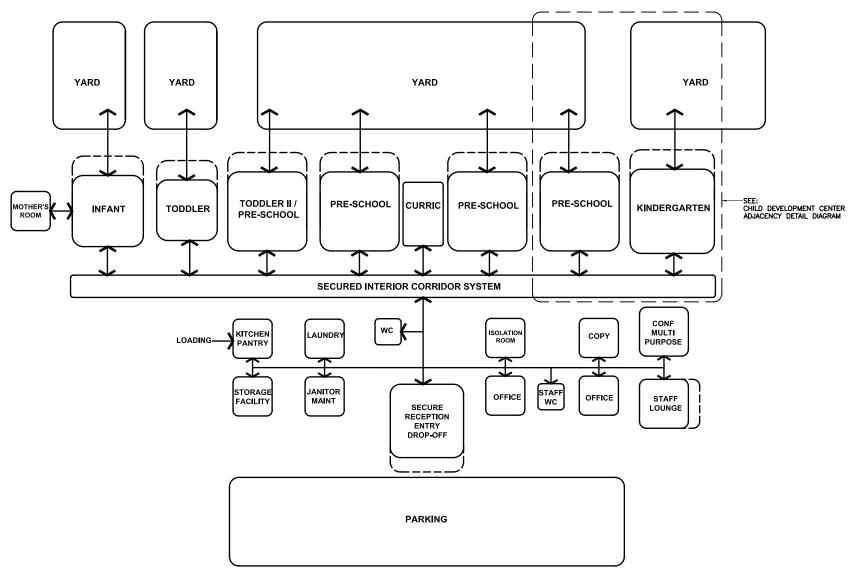
| Doors | All interior doors are to be solid core with plastic laminate finish. |
|----------|--|
| 00013 | Provide vision panels as required for safety and surveillance. (See |
| | "Security" below) |
| Windows | All windows should have safety glazing. Provide dual glazing for |
| | thermal and acoustic control. All east, south and west exposures |
| | should be provided with passive solar shading devises. Frames |
| | should be durable and low maintenance. |
| Storage | See Room Data Sheets. |
| Signage | Building and entry identification, way finding, accessibility and exiting |
| | signage should be provided. Parking entry / drop-off and site control |
| - | signage to be provided. |
| Security | The facility security system must interface with the Campus Housing |
| | Operations security control and monitoring system. The campus has |
| | provided the following as a basis for programming: |
| | Lenel software & hardware components are the primary operations platform for all access control including locks, |
| | cameras, DVR's, & alarms. |
| | IDH Max prox readers by BEST ACCESS SYSTEMS, hard |
| | wired. |
| | Mullion mounted prox readers on storefront applications Lenel |
| | LPMM-6800. |
| | Electrified VonDuprin hardware 33 series. |
| | Detex brand removable mullion for lobby doors, heavy-duty |
| | model #F90KR. |
| | Lenel card reader at lobby and all card reader locations. |
| | Lenel card readers with door position switches on all gates in |
| | play area. |
| | Cameras are to be Pelco pan, tilt, zoom (PTZ's) at lobby / |
| | Reception area, and at all exterior locations including parking |
| | lots. |
| | Central viewing station preferably at the lobby desk. A 2nd at |
| | Access Control Room. |
| | DVR's (Digital Video Recorders) are to be Pelco DX 7000 series |
| | w/PTZ function |
| | Software to include Pelco motion detection sensor |
| | Fixed cameras (if any) are to have "vara-focal" wide angle |
| | lenses Deisette 4 wich lint |
| | Priority 1 wish list: |
| | Infant Child Tag system, locks all doors when unauthorized exit is attenuated |
| | is attempted |

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| | Facial Recognition system to prevent wrongful removal of children |
|-----------------------|---|
| | Remote/hardwired panic buttons throughout building for Police notification |
| | On site central access control room and monitoring station See Section 5.8 for further information. |
| Special Requirements | Title 22 code will prevail for all functions. See Room Data Sheets |
| Future Considerations | An Extended Day program for school age children may be added in the future. |
| Systems | |
| Mechanical | Fully air conditioned with separate zone for each classroom using roof mounted equipment with economizers. Exhaust air system for toilets and kitchen(ette)s. |
| Plumbing | Cold and tempered water to sinks, water cooler, waterless urinals; fully sprinklered. |
| Lighting | Recessed or surface fluorescent with multi switching. Egress lighting with integral battery pack. |
| Power | Provide child "safety" receptacles throughout. |
| Communications: | |
| Data | In each classroom, support and staff area. |
| Telecom | In each classroom, support and staff area. |
| Video | Cable TV system. See security requirements |
| Acoustics | All design elements should provide for sound attenuation especially in the infant and toddler classroom. |

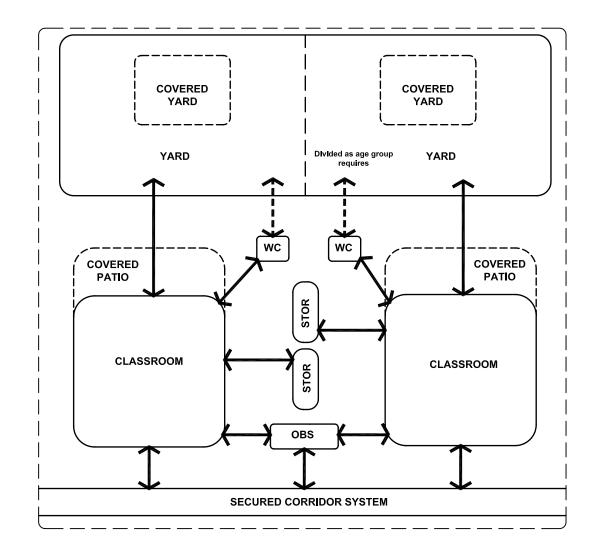
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6.0 Facility Requirements: Design Criteria



CHILD DEVELOPMENT CENTER ADJACENCIES

Figure 6.2.1-1: Child Development Center Child Development Center Adjacency Diagram



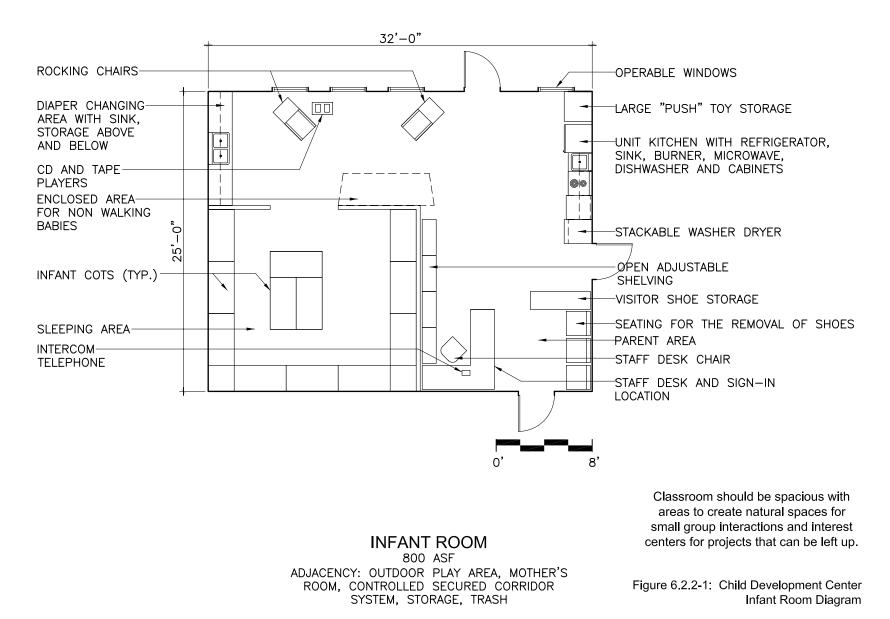
CHILD DEVELOPMENT CENTER ADJACENCIES DETAIL

Figure 6.2.1-2: Child Development Center Child Development Center Adjacency Detail Diagram

6.2.2 Infant Room Child Development Center

| D · · · | |
|------------------------|--|
| Description | Infant age classroom |
| Quantity | One |
| ASF | 800 |
| Number of | Full Time: 4 |
| Occupants (staff, | Part time: Varies |
| parents, volunteers) | |
| Number of | Full Time: 9-12 |
| Occupants (children) | Part time: |
| Adjacency Requirements | Outdoor play area, Mother's Room, controlled corridor system. Direct |
| | access to storage, trash. |
| Activities | General Play, sleeping |
| Days of use | Weekdays: Monday – Friday |
| Hours of use | 7 am – 6 p.m. |
| Ceiling Height | No high ceilings. |
| Finishes | |
| Floor | Mix of carpet (carpet squares) and sheet vinyl (at sink, diaper |
| | changing area, outdoor access areas). |
| Base | 4" Resilient Cove Base |
| Walls | Painted (easy to clean semi-gloss) Gypsum Board, muted colors |
| | (pastels) are preferred |
| Ceiling | Acoustic tile |
| Line of Sight | General classroom supervision, blind spots should be minimized. |
| | Staff desks, diaper change area, kitchen, etc. should be configured |
| | such that at no time are staff required to have their backs to the room. |
| Doors | See General Facility Data |
| Windows | Operable. Please take into consideration that the babies like to chew |
| | on window ledges. |
| Storage | Staff, parent, visitor shoe storage (shoe-less room) |
| - | Walk-in lockable storage closet for staffs' personal belongings and |
| | classroom supplies, open adjustable shelves. Broom utility closet. |
| | Secured earthquake kit storage. Diaper/supply storage. Large |
| | storage for "push" toy storage, high chairs. |
| Signage | See General Facility Data |
| Security | See General Facility Data |

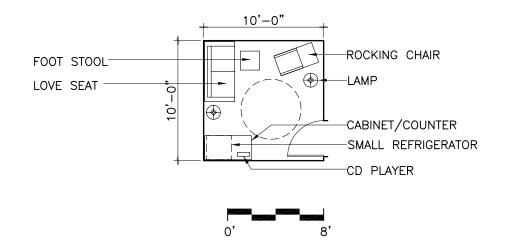
| Spacial Paguiromanta | Enclosed area for non-walking babies |
|-----------------------|---|
| Special Requirements | 0 |
| | Unit Kitchen (alternately custom kitchen) and stackable washer / dryer, separated from the children. |
| | Parent sign-in / sign-out center |
| | Seating for the removal of shoes and shoe storage in the entry. |
| | Separated sleeping area |
| Future Considerations | No Special Requirements |
| | No Special Requirements |
| Systems Mechanical | Can Canaral Facility Data |
| | See General Facility Data |
| Plumbing | Sinks by diaper changing area and kitchen. Non-exposed plumbing. |
| Lighting | As required for Unit Kitchen. |
| Lighting Power | Dimmable. See General Facility Data |
| Power | High outlets at each wall. As required for Unit Kitchen. See General Facility Data. |
| Communications | Facility Data. |
| | Data naut adiagant ta antro sign in dagle |
| Data | Data port adjacent to entry sign in desk. |
| Telecom | Intercom / phone (See Room Diagram) |
| Video | See security requirements |
| Acoustics | All design elements should provide as much sound baffling as |
| | possible, especially at sleeping areas. |
| Room Contents | |
| Group I | |
| Built-ins | See Storage and Special Requirements sections. |
| | Unit Kitchen with refrigerator, sink, burner, microwave, dishwasher |
| | and cabinets. |
| Group II & III | |
| Movable-Equip. | CD and tape players |
| Furnishings | See Room Diagram |



6.2.3 Mothers' Room Child Development Center

| Description | |
|------------------------|---|
| Description | Quiet space for nursing mothers |
| Quantity | |
| ASF | 100 |
| Number of | Full Time: N/A |
| Occupants (staff, | Part time: 4 at any one time |
| parents, volunteers) | |
| Number of | Full Time: |
| Occupants (students) | Part time: |
| Adjacency Requirements | Infant Room |
| Activities: | Mothers nursing their children or using a breast pump |
| Days of use | Weekdays: Monday – Friday |
| Hours of use | 7 am – 6 p.m. |
| Ceiling Height | |
| Finishes | |
| Floor | Carpet |
| Base | 4" Resilient Cove Base |
| Walls | Painted Gypsum Board |
| Ceiling | Acoustic tile |
| Line of Sight | No Special Requirements |
| Doors | See General Facility Data |
| Windows | None |
| Storage | Cabinets for storage of pump equipment |
| Signage | See General Facility Data |
| Security | See General Facility Data |
| Special Requirements | Counters |
| Future Considerations | No Special Requirements |
| Systems | |
| Mechanical | air-conditioning (heating and cooling) |
| Plumbing | See General Facility Data |
| Lighting | Overhead and lamps. See General Facility Data. |
| Power | Multiple outlets. See General Facility Data. |

| Communications | |
|----------------|---|
| Data | No Requirements |
| Telecom | No Requirements |
| Video | No Requirements |
| Acoustics | See General Facility Data. |
| Room Contents: | |
| Group I | |
| Built-ins | See Storage and Special Requirements sections |
| Group II & III | |
| Movable-Equip. | CD player |
| | Small refrigerator |
| Furnishings | See Room Diagram |



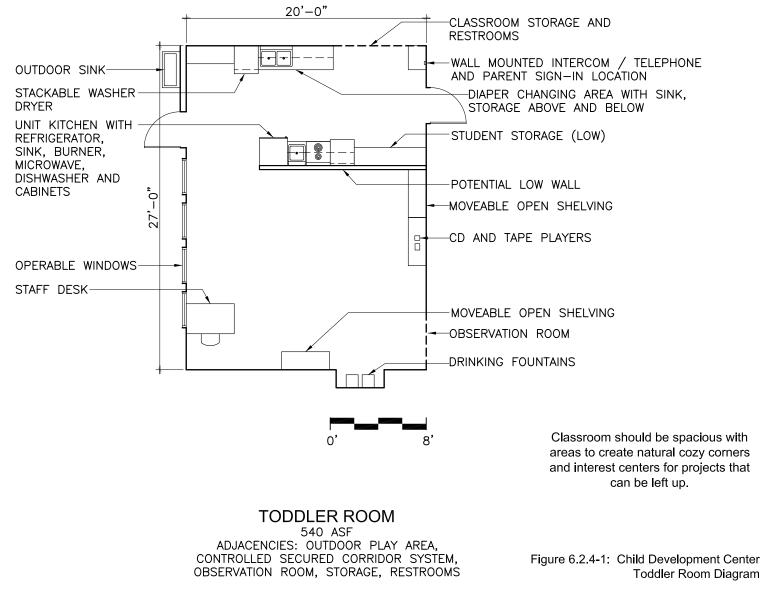
MOTHER'S ROOM 100 ASF ADJACENCIES: INFANT ROOM

Figure 6.2.3-1: Child Development Center Mother's Room Diagram

6.2.4 Toddler Room Child Development Center

| Description | Toddler age classroom |
|------------------------|--|
| Quantity | One |
| ASF | 540 |
| Number of | Full Time: 3 |
| Occupants (staff, | Part time: varies |
| parents, volunteers) | |
| Number of Occupants | Full Time: 12 |
| (students) | Part time: |
| Adjacency Requirements | Outdoor play area, controlled secured corridor system, observation |
| | room, storage, restrooms |
| Activities | Numerous learning activities including: Reading, Art, Science, Music, |
| | General Play |
| Days of use | Weekdays: Monday – Friday |
| Hours of use | 7 am – 6 p.m. |
| Ceiling Height | No high ceilings. Prefer to have the ability to hang things from the |
| 0 0 | ceiling. 8' Min. 12' Max. |
| Finishes | |
| Floor | Primarily carpet with Vinyl Flooring at sink, eating areas, toilet, diaper |
| | changing, and outdoor access areas. |
| Base | 4" Resilient Cove Base |
| Walls | Painted Gypsum Board |
| Ceiling | Acoustic tile |
| Line of Sight/ | General blind spots should be minimized for classroom supervision. |
| Supervision | Staff desks, kitchen, diaper changing etc. should be configured such |
| | that at no time are staff required to have their backs to the room. |
| Doors | Provide view panels at entry doors. |
| Windows | Operable and shaded. See General Facility Data. |
| Storage | Movable open shelving at entire perimeter. |
| • | Student storage: Backpacks, jackets, etc (preferably near back door). |
| | Walk-in lockable storage closets for staff personal belongings and |
| | classroom supplies, open adjustable shelves. |
| | Mat storage (tall) adjacent sleeping area and accessible to students. |
| | Lockable broom/utility closet. |
| | Secured earthquake kit storage. |
| | Built-in (low) cabinets for toy storage. |
| | Storage for large toys, such as cars. |
| Signage | See General Facility Data |
| | |

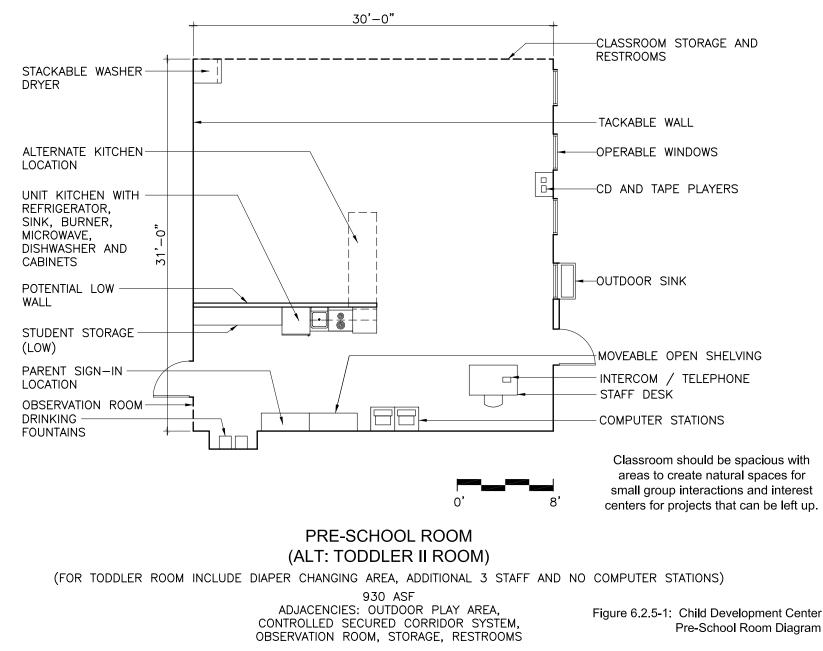
| Special Requirements | Observation room. |
|-----------------------|---|
| Special Requirements | Unit Kitchen (alternately custom kitchen) and stackable washer / |
| | dryer. |
| | (Shared facilities w/ adj. Classroom are acceptable) |
| | Parent sign-in/sign-out center |
| | Rounded edges |
| | Diaper changing area with sink |
| Future Considerations | |
| | No Special Requirements |
| Systems | |
| Mechanical | Ceiling Fan, See General Facility Data |
| Plumbing | See Children's Restrooms Data Sheet and Diagram. |
| | Trough-sink with a surrounding work surface for science and art |
| | projects |
| | Outdoor sink/hose |
| | No visible pipes |
| L'abda a | As required for Unit Kitchen |
| Lighting | Dimmable. See General Facility Data |
| Power | High outlets at each wall for music, science, cooking areas. As |
| A iii | required for Unit Kitchen. See General Facility Data |
| Communications | Defense dis d'acception also also de sel |
| Data | Data port adjacent to entry sign in desk. |
| Telecom | Intercom / phone (See Room Diagram) |
| Video | See security requirements |
| Acoustics | All design elements should provide as much sound baffling as |
| | possible, especially at sleeping areas. |
| Room Contents | |
| Group I | |
| Built-ins | See Storage and Special Requirements sections. |
| | Unit Kitchen with refrigerator, sink, burner, microwave, dishwasher |
| Crown II 8 III | and cabinets. |
| Group II & III | CD and tang players |
| Movable-Equip. | CD and tape players |
| Furnishings | Movable tables and chairs |



6.2.5 Pre-School Room Child Development Center

| Description | Pre-school age classroom |
|------------------------|--|
| Quantity | Four (one to be an optional classroom for older toddlers) |
| ASF | 930 each |
| Number of | Full Time: 3 |
| Occupants (staff, | Part time: |
| parents, volunteers) | |
| Number of | Full Time: 24 |
| Occupants (students) | Part time: |
| Adjacency Requirements | Outdoor play area, controlled secured corridor system, observation room, storage, restrooms |
| Activities | Numerous learning activities including: Art, Science, Music, Reading, Information Technology, General Play |
| Days of use | Weekdays: Monday – Friday |
| Hours of use | 7 am – 6 p.m. |
| Ceiling Height | No high ceilings. Prefer to have the ability to hang things from the ceiling. 8' Min. 12' Max. |
| Finishes | |
| Floor | Mix of carpet (carpet squares) and Vinyl Flooring (at sink, toilet, eating areas, art and science areas, outdoor access areas). |
| Base | 4" Resilient Cove Base |
| Walls | Painted Gypsum Board, muted colors (pastels) are preferred |
| Ceiling | Acoustic tile |
| Line of Sight | General classroom supervision, blind spots should be minimized. Restroom area must be visible by staff from classroom. Staff desks, kitchen, etc. should be configured such that at no time are staff required to have their backs to the room. |
| Doors | |
| Windows | Provide view panels at entry doors. Operable |
| WINDUWS | |

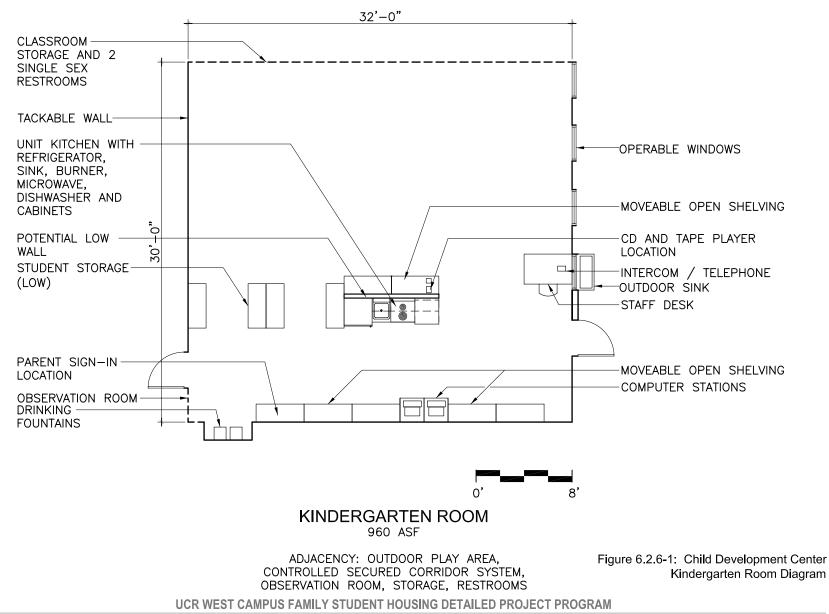
| Storage | Student storage: backpacks, jackets, etc. |
|-----------------------|--|
| | Walk-in lockable storage closets for staff personal belongings and |
| | classroom supplies, open adjustable shelves. |
| | Mat storage (tall) adjacent sleeping area and accessible to students. |
| | Broom utility closet. |
| | Secured earthquake kit storage. |
| | Cupboards in bathroom area. |
| | Built-in (low) cabinets for toy storage. |
| Signage | See General Facility Data |
| Security | See General Facility Data |
| Special Requirements | Observation room |
| | Unit Kitchen (alternately custom kitchen) and stackable washer / dryer |
| | (Shared facilities w/ adj. Classroom are acceptable) |
| | Parent sign-in / sign-out center |
| | Child height drinking fountain |
| Future Considerations | No Special Requirements |
| Systems | |
| Mechanical | Ceiling Fan |
| Plumbing | See Children's Restrooms Data Sheet and Diagram. |
| | Trough sink w/ surrounding work surface for sciences and art projects. |
| 12.1.0.1 | As required for Unit Kitchen. |
| Lighting | Dimmable. See General Facility Data |
| Power | Multiple high/low outlets at each wall. As required for Unit Kitchen. See General Facility Data. |
| Communications | See General Facility Data. |
| Data | Data port adjacent to entry sign in desk. |
| Telecom | Intercom / phone (See Room Diagram) |
| Video | See security requirements |
| Acoustics | All design elements should provide as much sound baffling as |
| | possible, especially at sleeping areas. |
| Room Contents | |
| Group I | |
| Built-ins | See Storage and Special Requirements sections. |
| | Unit Kitchen with refrigerator, sink, burner, microwave, dishwasher |
| | and cabinets. |
| Group II & III | |
| Movable-Equip. | CD and tape players |
| | Computer stations |
| Furnishings | Movable tables and chairs |



6.2.6 Kindergarten Room Child Development Center

| Description | School age classroom |
|------------------------|---|
| Quantity | One |
| ASF | 960 |
| Number of | Full Time: 2 |
| Occupants (staff, | Part time: 1 |
| parents, volunteers) | |
| Number of | Full Time: 24 |
| Occupants (students) | |
| Adjacency Requirements | Outdoor play area, controlled secured corridor system, observation |
| | room, storage, restrooms |
| Activities | Numerous learning activities including: Art, Science, Music, |
| | Information Technology, General Play |
| Days of use | Weekdays: Monday – Friday |
| Hours of use | 7 am – 6 p.m. |
| Ceiling Height | No high ceilings. Prefer to have the ability to hang things from the |
| | ceiling. (8' Min. 12' Max.) |
| Finishes | |
| Floor | Primarily carpet with Vinyl Flooring at sink, toilet rooms, and outdoor |
| | access areas. |
| Base | 4" Resilient Cove Base |
| Walls | Painted Gypsum Board |
| Ceiling | Acoustic tile |
| Line of Sight/ | "Blind spots" should be minimized for supervision. Staff desks, |
| Supervision | kitchen, etc. should be configured so staff do not have their backs to |
| _ | the room. |
| Doors | Provide view panels at entry doors. |
| Windows | Operable. See General Facility Data. |
| Storage | Movable open shelving along perimeter as possible. |
| | Student storage: backpacks, jackets, etc. |
| | Walk-in lockable storage closet for staff's personal belongings and |
| | classroom supplies, open adjustable shelves. |
| | Broom utility closet. |
| | Secured earthquake kit storage. |
| Signage | See General Facility Data |

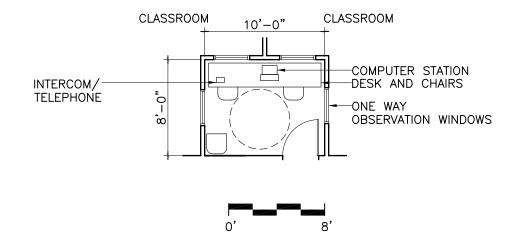
| Security | See General Facility Data |
|-----------------------|--|
| Special Requirements | Observation room |
| Special Requirements | Unit Kitchen (alternately custom kitchen) |
| | (Shared facilities w/ adj. Classroom are acceptable) |
| | |
| E (A | Parent sign-in / sign-out center |
| Future Considerations | Alternate use functions may utilize this space if the program is not all |
| | day, (music pull-out etc.) |
| Systems | |
| Mechanical | No Special Requirements, See General Facility Data |
| Plumbing | See Children's Restrooms Data Sheet and Diagram. |
| | Trough sink w/ surrounding work surface for sciences and art projects. |
| | As required for Unit Kitchen. |
| Lighting | Dimmable. See General Facility Data |
| Power | High / low outlets at each wall. As required for Unit Kitchen. See |
| | General Facility Data |
| Communications | |
| Data | Data port adjacent to entry sign-in desk. |
| Telecom | Intercom / phone (See Room Diagram) |
| Video | See security requirements |
| Acoustics | All design elements should provide as much sound baffling as |
| | possible, especially at sleeping areas. |
| Room Contents | |
| Group I | |
| Built-ins | See Storage and Special Requirements sections. |
| | Unit Kitchen with refrigerator, sink, burner, microwave, dishwasher and cabinets. |
| Group II & III | |
| Movable-Equip. | CD and tape players |
| | Computer stations |
| Furnishings | Movable tables and chairs |



6.2.7 Observation Room Child Development Center

| Description | Parent / teacher observation of classrooms |
|------------------------|---|
| Quantity | 5 to 7 (TBD in building configuration) |
| ASF | 80 each (when used by "paired" classrooms) |
| Number of | Part time: 3 |
| Occupants (staff, | |
| parents, volunteers) | |
| Number of | See Future Considerations |
| Occupants (students) | |
| Adjacency Requirements | Next to each classroom. |
| | Private, for parents and teachers only. |
| Activities | Observation of student activity. |
| Days of use | Weekdays: Monday – Friday |
| Hours of use | 7 am – 6 p.m. |
| Ceiling Height | No high ceilings. 8' min. |
| Finishes | |
| Floor | Carpet |
| Base | 4" Resilient Cove Base |
| Walls | Painted Gypsum Board |
| Ceiling | Acoustic tile |
| Line of Sight | |
| Doors | See General Facility Data |
| Windows | Observation windows should provide one way viewing. |
| Storage | No Requirements |
| Signage | See General Facility Data |
| Security | See General Facility Data |
| Special Requirements | Provide individual volume controlled intercom to allow observers to |
| | hear classroom activities. |
| Future Considerations | No Special Requirements |
| Systems | |
| Mechanical | See General Facility Data |
| Plumbing | No Requirements |
| Lighting | See General Facility Data |
| Power | See General Facility Data |

| Communications | |
|----------------|---|
| Data | Data port adjacent to entry sign in desk. Computer station. |
| Telecom | Intercom / phone (See Room Diagram) |
| Video | Video interface required |
| Acoustics | See General Facility Data |
| Room Contents | |
| Group I | |
| Built-ins | No Requirements |
| Group II & III | |
| Movable-Equip. | No Requirements |
| Furnishings | See Room Diagram |



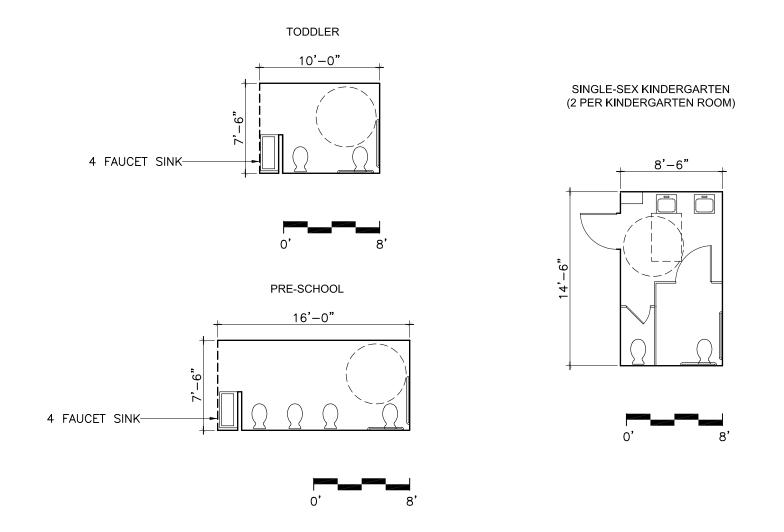
OBSERVATION ROOM FOR PAIRED CLASSROOMS 80 ASF ADJACENCY: EACH CLASSROOM

Figure 6.2.7-1: Child Development Center Observation Room Diagram

6.2.8 Children's Restrooms Child Development Center

| Description | Restrooms for child use |
|------------------------|---|
| Quantity | 1 Toddler |
| | 4 Pre-School |
| | 2 Kindergarten |
| ASF | 75 Toddler |
| | 480 Pre-school |
| | 246 Kindergarten |
| Number of | Full Time: N/A |
| Occupants (staff, | Part time: 1 |
| parents, volunteers) | |
| Number of | Full Time: N/A |
| Occupants (students) | Part time: 1-4 |
| Adjacency Requirements | Classrooms and playground (if no outdoor restrooms are provided). |
| Activities | |
| Days of use | Weekdays: Monday – Friday |
| Hours of use | 7 am – 6 p.m. |
| Ceiling Height | 8' min. |
| Finishes | |
| Floor | Ceramic Tile |
| Base | Ceramic Tile Coved |
| Walls | Ceramic Tile min. wainscot height |
| Ceiling | Washable Painted Gypsum Board |
| Line of Sight | Ease of staff observation is required. See window section. |
| Doors | See Room Data Sheet |
| Windows | Toddlers: Min. 2' observation window |
| | Toddler (2-years): Min. 4' observation window |
| | Pre-School: Min. 3' observation window |
| | Kindergarten: No window |
| Storage | Adjacent storage cabinet for diapers, wipes and toilet paper |
| Signage | See General Facility Data |
| Security | See General Facility Data |
| Special Requirements | ADA compliant toilet |
| Future Considerations | No Special Requirements |

| Systems | |
|----------------|--|
| Mechanical | Provide exhaust typ. See General Facility Data |
| Plumbing | Toilets, trough sinks, floor drains. Waterless urinals where provided. |
| Lighting | See General Facility Data |
| Power | See General Facility Data |
| Communications | |
| Data | No Requirements |
| Telecom | No Requirements |
| Video | No Requirements |
| Acoustics | See General Facility Data |
| Room Contents | |
| Group I | |
| Built-ins | See Storage section. Provide typical toilet room accessories (recessed). |
| Group II & III | |
| Movable-Equip. | No Requirements |
| Furnishings | No Requirements |



CHILDREN'S RESTROOMS TODDLER 75 ASF, PRE-SCHOOL 120 ASF, KINDERGARTEN 123 ASF/PER SINGLE SEX ROOM

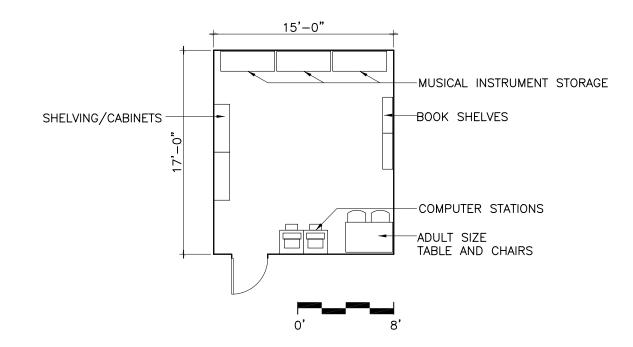
> ADJACENCY: EACH CLASSROOM AND PLAY YARD (IF NO OUTDOOR RESTROOMS ARE PROVIDED)

Figure 6.2.8-1: Child Development Center Children's Restrooms Diagram

6.2.9 Curriculum Room Child Development Center

| Description | Staff work room, student library and music room |
|------------------------|--|
| Quantity | One |
| ASF | 255 |
| Number of | Full Time: 1 |
| Occupants (staff, | Part time: 17 |
| parents, volunteers) | |
| Number of | Part time: 20 at any one time. |
| Occupants (students) | |
| Adjacency Requirements | Near Classrooms |
| Activities | Teachers: lesson preparation. Students: music and movement |
| | classes |
| Days of use | Weekdays: Monday – Friday |
| Hours of use: | 7 am – 6 p.m. Possible evening use (7-9) |
| Ceiling Height | See General Facility Data. |
| Finishes | |
| Floor | Carpet |
| Base | 4" Resilient Cove Base |
| Walls | Painted Gypsum Board |
| Ceiling | Acoustic tile |
| Line of Sight | No Special Requirements |
| Doors | No Special Requirements |
| Windows | No Special Requirements |
| Storage | Ample shelving and cabinetry for the storage of supplies, such as |
| | construction paper, and markers. Butcher paper holders. Cabinets |
| | for the storage of musical instruments. Bookshelves for the library. |
| Signage | See General Facility Data. |
| Security | See General Facility Data. |
| Special Requirements | No Special Requirements |
| Future Considerations | No Special Requirements |
| Systems | |
| Mechanical | See General Facility Data. |
| Plumbing | No Requirements |
| Lighting | See General Facility Data. |
| Power | See General Facility Data. |

| Communications | |
|----------------|----------------------------|
| Data | 2 Computer stations |
| Telecom | See General Facility Data. |
| Video | See security requirements |
| Acoustics | See General Facility Data. |
| Room Contents | |
| Group I | |
| Built-ins | See Storage Sections. |
| Group II & III | |
| Movable-Equip. | No Special Requirements |
| Furnishings | See Room Diagram |



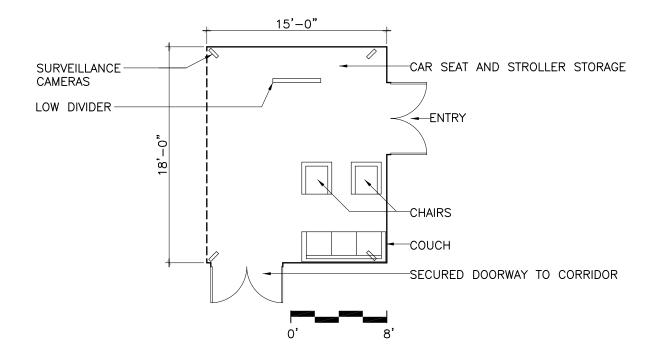
CURRICULUM ROOM 255 ASF ADJACENCY: IF THIS BECOMES EDC. THEN ACCESS TO KITCHEN IS PREFERRED

Figure 6.2.9-1: Child Development Center Curriculum Room Diagram

6.2.10 Entry/Lobby/Stroller Storage Child Development Center

| Description | Entry and lobby / stroller storage |
|------------------------|--|
| Quantity | One |
| ASF | 270 |
| Number of | Full Time: |
| Occupants (staff, | Part time: up to 15 |
| parents, volunteers) | |
| Number of | Full Time: |
| Occupants (students) | Part time: up to 15 |
| Adjacency Requirements | Reception |
| Activities | Entry, waiting, welcoming of children and parents, registration |
| Days of use | Weekdays: Monday – Friday |
| Hours of use | 7 am – 6 p.m. |
| Ceiling Height | See General Facility Data |
| Finishes | |
| Floor | Carpet |
| Base | 4" Resilient Cove Base |
| Walls | Painted Gypsum Board |
| Ceiling | Acoustic tile |
| Line of Sight | Exterior entry area and Reception must be visible. |
| Doors | See General Facility Data |
| Windows | See General Facility Data |
| Storage | Ample area for temporary, unenclosed storage of car seats and strollers during drop-off and pick-up of students. |
| Signage | Saa Canaral Facility Data |
| Security | Security cameras and controlled access are required. See General |
| • | Facility Data for further requirements. |
| Special Requirements | Child-friendly, inviting area that appeals to children. Small area for |
| • • | parents to congregate, but not so inviting to promote congregating. |
| Future Considerations | No Special Requirements |
| Systems | |
| Mechanical | See General Facility Data |
| Plumbing | No Requirements |
| Lighting | Soft lighting. See General Facility Data |
| Power | See General Facility Data |

| Communications | |
|----------------|---------------------------|
| Data | No Special Requirements |
| Telecom | No Special Requirements |
| Video | See security requirements |
| Acoustics | See General Facility Data |
| Room Contents | |
| Group I | |
| Built-ins | No Special Requirements |
| Group II & III | |
| Movable-Equip. | No Requirements |
| Furnishings | See Room Diagram |



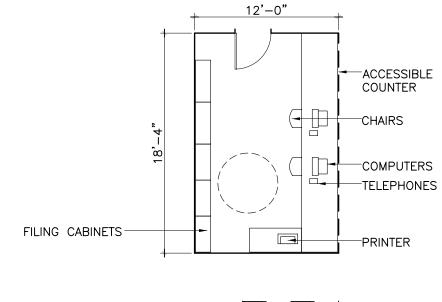
ENTRY / LOBBY / STROLLER STORAGE 270 ASF ADJACENCIES: RECEPTION

Figure 6.2.10-1: Child Development Center Entry / Lobby / Stroller Storage Room Diagram

6.2.11 Reception Child Development Center

| Description | Reception/Front Desk |
|------------------------|---|
| Quantity | One |
| ASF | 220 |
| Number of | Full Time: 2 |
| Occupants (staff, | Part time: 1 |
| parents, volunteers) | |
| Number of | Full Time: N/A |
| Occupants (students) | Part time: N/A |
| Adjacency Requirements | Entry/Lobby and Isolation Room |
| Activities | Reception and administrative |
| Days of use | Weekdays: Monday – Friday |
| Hours of use | 7 am – 6 p.m. |
| Ceiling Height | 7 am – 6 p.m. See General Facility Data |
| Finishes | |
| Floor | Carpet |
| Base | 4" Resilient Cove Base |
| Walls | Painted Gypsum Board |
| Ceiling | Acoustic tile |
| Line of Sight | Full view to exterior, Entry/Lobby area, doors to classrooms and into |
| - | Isolation Room |
| Doors | See General Facility Data |
| Windows | See General Facility Data |
| Storage | Ample storage for filing, both filing cabinets and binders |
| Signage | See General Facility Data |
| Security | Central security system viewing station must be monitored by |
| - | reception desk. Button to open doors into secured corridor is |
| | necessary at the desk. See General Facility Data for further |
| | requirements. |
| Special Requirements | No Special Requirements |
| Future Considerations | No Special Requirements |
| | |
| Systems | |
| Mechanical | See General Facility Data |
| Plumbing | No Requirements |
| Lighting | See General Facility Data |
| Power | See General Facility Data |

| Communications | |
|----------------|--|
| Data | Data / telecom ports required at each work station. |
| Telecom | Data / telecom ports required at each work station. |
| Video | See security requirements |
| Acoustics | See General Facility Data |
| Room Contents | |
| Group I | |
| Built-ins | Accessible counter in between Reception and Entry/Lobby. See |
| | Storage and Special Requirements |
| Group II & III | |
| Movable-Equip. | Computers, printers |
| Furnishings | See Room Diagram |





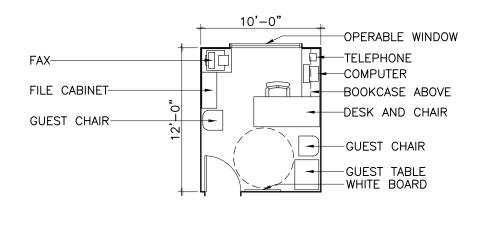
RECEPTION 220 ASF ADJACENCIES: ENTRY/LOBBY AND ISOLATION ROOM

Figure 6.2.11-1: Child Development Center Reception Room Diagram

6.2.12 Offices Child Development Center

| Description | Office for Child Development Center Director and Assistant Director |
|------------------------|---|
| Quantity | Two |
| ASF | 120 each |
| Number of | Full Time: 1 |
| Occupants (staff, | Part time: 3 |
| parents, volunteers) | |
| Number of | Full Time: N/A |
| Occupants (students) | Part time: N/A |
| Adjacency Requirements | Away from reception area and traffic to kitchen and restrooms. Prefer |
| | access to play ground without going through classrooms. |
| Activities | General administrative activities. Small group meetings will be held in |
| | the Director's Office. |
| Days of use | Weekdays: Monday – Friday |
| Hours of use | 7 am – 6 p.m. |
| Ceiling Height | 8' min., 9' pref. |
| Finishes | |
| Floor | Carpet |
| Base | 4" Resilient Cove Base |
| Walls | Painted Gypsum Board |
| Ceiling | Acoustic tile |
| Line of Sight | No Special Requirements |
| Doors | See General Facility Data |
| Windows | See General Facility Data |
| Storage | Provide ample space for storage furniture. |
| Signage | See General Facility Data |
| Security | See General Facility Data |
| Special Requirements | Director's Office should be large enough to hold small group |
| | meetings. |
| Future Considerations | No Special Requirements |
| Systems | |
| Mechanical | See General Facility Data |
| Plumbing | No Requirements |
| Lighting | See General Facility Data |
| Power | See General Facility Data |

| Communications | |
|----------------|--|
| Data | Provide Data / Telecom |
| Telecom | Provide Data / Telecom |
| Video | No Requirements |
| Acoustics | See General Facility Data |
| Room Contents | |
| Group I | |
| Built-ins | |
| Group II & III | |
| Movable-Equip. | Computer, fax, telephone |
| Furnishings | Small table and chairs in Director's Office, desk, file cabinet and bookcase in both offices. |





OFFICE 120 ASF ADJACENCY: AWAY FROM RECEPTION AREA AND TRAFFIC TO KITCHEN AND RESTROOMS. PREFER ACCESS TO PLAY GROUND WITHOUT GOING THROUGH CLASSROOMS

Figure 6.2.12-1: Child Development Center Office Room Diagram

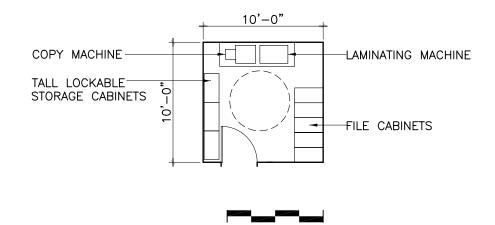
UCR WEST CAMPUS FAMILY STUDENT HOUSING DETAILED PROJECT PROGRAM

R. L. BINDER, FAIA ARCHITECTURE & PLANNING

6.2.13 Copy Center Child Development Center

| Deservation | |
|------------------------|---|
| Description | Copy Room |
| Quantity | One |
| ASF | 100 |
| Number of | Full Time: |
| Occupants (staff, | Part time: 2 |
| parents, volunteers) | |
| Number of | Full Time: 0 |
| Occupants (students) | Part time: 0 |
| Adjacency Requirements | Reception and offices |
| Activities | Copying, filing |
| Days of use | Weekdays: Monday – Friday |
| Hours of use | 7 am – 6 p.m. |
| Ceiling Height | See General Facility Data |
| Finishes | |
| Floor | Carpet |
| Base | 4" Resilient Cove Base |
| Walls | Painted Gypsum Board |
| Ceiling | Acoustic tile |
| Line of Sight | |
| Doors | See General Facility Data |
| Windows | See General Facility Data |
| Storage | Filing cabinets, storage for copy paper, toner and/or cartridges |
| Signage | See General Facility Data |
| Security | See General Facility Data |
| Special Requirements | No Special Requirements |
| Future Considerations | Communication requirements for future office equipment to be |
| | considered. |
| Systems | |
| Mechanical | Well-ventilated (requirement of copy machine). See General Facility |
| | Data |
| Plumbing | No Requirements |
| Lighting | See General Facility Data |
| Power | 110 30 Amp for one copy machine and one laminating machine |

| Communications | |
|----------------|---|
| Data | Provide one data/telecom outlet for future equipment. |
| Telecom | Provide one data/telecom outlet for future equipment. |
| Video | No Requirements |
| Acoustics | See General Facility Data |
| Room Contents | |
| Group I | |
| Built-ins | Tall lockable storage cabinets. See Room Diagram |
| Group II & III | |
| Movable-Equip. | Copy Machine, Laminating Machine |
| Furnishings | |



0'

8'

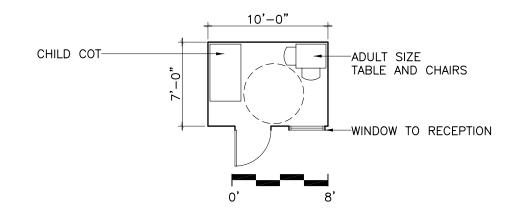
COPY CENTER 100 ASF ADJACENCIES: RECEPTION AND OFFICES

Figure 6.2.13-1: Child Development Center Copy Center Room Diagram

6.2.14 Isolation/Small Conference Room Child Development Center

| Description | Sick child waiting area/small conference room |
|------------------------|--|
| Quantity | One |
| ASF | 70 |
| Number of | Full Time: |
| Occupants (staff, | Part time: 3-4 |
| parents, volunteers) | |
| Number of | Full Time: |
| Occupants (students) | Part time: 1 |
| Adjacency Requirements | Reception, Restroom |
| Activities | Private meetings of 3-4 people and a place for a sick child to wait for pick-up. |
| Days of use | Weekdays: Monday – Friday |
| Hours of use | 7 am – 6 p.m. |
| Ceiling Height | See General Facility Data |
| Finishes | |
| Floor | Tile |
| Base | 4" Resilient Cove Base |
| Walls | Painted Gypsum Board |
| Ceiling | Acoustic tile |
| Line of Sight | Reception must have a clear view into the room. |
| Doors | See General Facility Data |
| Windows | Interior window for viewing from Reception |
| Storage | No Special Requirements |
| Signage | See General Facility Data |
| Security | See General Facility Data |
| Special Requirements | Title 22 code will prevail for all functions. |
| Future Considerations | No Special Requirements |

| Systems | |
|----------------|--|
| Mechanical | Room shall have: |
| | Dedicated HVAC system to prevent the spread of airborne infectious disease High outside make up air |
| | Minimum 10 air changes per hour exhausted away from play areas, building entrances and air intakes |
| Plumbing | No Requirements |
| Lighting | See General Facility Data |
| Power | See General Facility Data |
| Communications | |
| Data | Data port adjacent to entry sign-in desk. |
| Telecom | Intercom / phone (See Room Diagram) |
| Video | No Requirements |
| Acoustics | See General Facility Data |
| Room Contents | |
| Group I | |
| Built-ins | No Requirements |
| Group II & III | |
| Movable-Equip. | No Requirements |
| Furnishings | See Room Diagram |



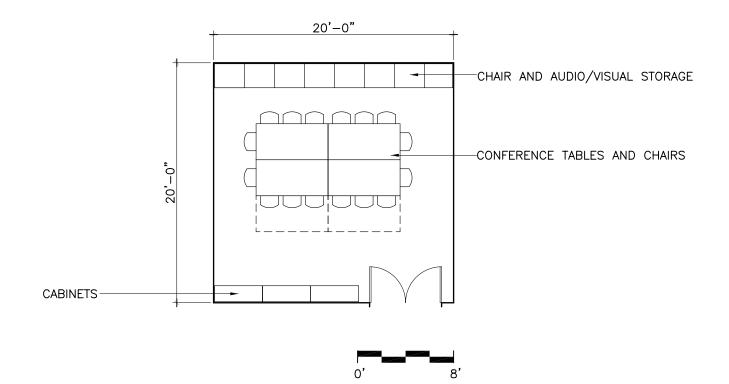
ISOLATION / SMALL CONFERENCE ROOM 70 ASF ADJACENCIES: RECEPTION

Figure 6.2.14-1: Child Development Center Isolation / Small Conference Room Diagram

6.2.15 Conference/Multi-Purpose Room Child Development Center

| Description | Multi-purpose and large conferences |
|------------------------|---|
| Quantity | One |
| ASF | 380 |
| Number of | Full Time: |
| Occupants (staff, | Part time: 25 max. at any one time |
| parents, volunteers) | ···· · · · · · · · · · · · · · · · · · |
| Number of | Full Time: |
| Occupants (students) | Part time: 25 max. at any one time |
| Adjacency Requirements | Adjacent to Reception and Entry/Lobby, behind the security point. |
| Activities | Staff meetings, parent-teacher conferences, picture days, child |
| | vision/hearing screening, student music performances, parent training |
| Days of use | Weekdays: Monday – Friday |
| Hours of use: | 7 am – 6 p.m. Possible evening use as well |
| Configurations/ Room | Preferably square |
| Proportions | |
| Ceiling Height | 9' min. (11' pref.) |
| Finishes | |
| Floor | Carpet |
| Base | 4" Resilient Cove Base |
| Walls | Painted Gypsum Board |
| Ceiling | Acoustic tile |
| Line of Sight | No Special Requirements |
| Doors | Provide double door to facilitate furniture movement. |
| Windows | See General Facility Data. |
| Storage | Storage of stackable chairs, folding tables, Audio/Visual equipment |
| - | and miscellaneous facility items. |
| Signage | See General Facility Data. |
| Security | See General Facility Data. |
| Special Requirements | No Special Requirements |
| Future Considerations | May be used as an Extended Day Care facility in the future, with easy |
| | access to the kitchen. |

| Systems | |
|----------------|--|
| Mechanical | See General Facility Data. |
| Plumbing | See General Facility Data. |
| Lighting | See General Facility Data. |
| Power | See General Facility Data. |
| Communications | |
| Data | Yes |
| Telecom | Yes |
| Video | See security requirements |
| Acoustics | Music performances to be considered. See General Facility Data. |
| Room Contents | |
| Group I | |
| Built-ins | See Storage section and room diagram. |
| Group II & III | |
| Movable-Equip. | Audio / Visual equipment |
| Furnishings | Sectional relocatable conference tables and stackable chairs. See Room Diagram |



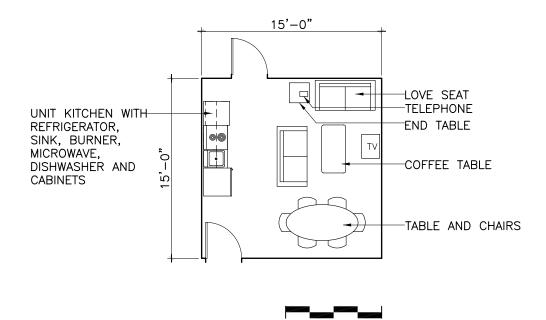
CONFERENCE / MULTI-PURPOSE ROOM 400 ASF ADJACENCIES: RECEPTION AND ENTRY/LOBBY

Figure 6.2.15-1: Child Development Center Conference / Multi-Purpose Room Diagram

6.2.16 Staff Lounge Child Development Center

| Description | Staff Lounge and Break Room |
|------------------------|---|
| Quantity | One |
| ASF | 225 |
| Number of | Full Time: |
| Occupants (staff, | Part time: 10-12 |
| parents, volunteers) | |
| Number of | Full Time: |
| Occupants (students) | Part time: 0 |
| Adjacency Requirements | Exterior shaded patio area |
| Activities | Staffs' lunch and break area, including food preparation, TV, private phone calls and lesson planning. |
| Days of use | Weekdays: Monday – Friday |
| Hours of use | 7 am – 6 p.m. |
| Ceiling Height | 8' min. |
| Finishes | *************************************** |
| Floor | Vinyl Tile at Unit Kitchen and lunch area, carpet at remainder. |
| Base | 4" Resilient Cove Base |
| Walls | Painted Gypsum Board |
| Ceiling | Acoustic tile |
| Line of Sight | No Special Requirements |
| Doors | See General Facility Data |
| Windows | See General Facility Data |
| Storage | Cabinets for storage of limited kitchen utensils. |
| Signage | See General Facility Data |
| Security | See General Facility Data |
| Special Requirements | Prefer an adjacent shaded, outdoor patio area with picnic tables/patio |
| | furniture. Should be isolated from public and students. |
| Future Considerations | No Special Requirements |
| Systems | |
| Mechanical | See General Facility Data |
| Plumbing | As required for Unit Kitchen. |
| Lighting | See General Facility Data |
| Power | As required for Unit Kitchen. |

| Communications | |
|----------------|---|
| Data | 2 Ports |
| Telecom | Yes |
| Video | No Requirements |
| Acoustics | See General Facility Data |
| Room Contents | |
| Group I | |
| Built-ins | See Storage and Special Requirements. |
| | Unit Kitchen with refrigerator, sink, burner, microwave, dishwasher |
| | and cabinets. |
| Group II & III | |
| Movable-Equip. | Microwave, refrigerator, TV |
| Furnishings | Table, chairs, sofa. See Room Diagram |



STAFF LOUNGE 225 ASF ADJACENCY: EXTERIOR SHADED PATIO AREA

 O^{\dagger}

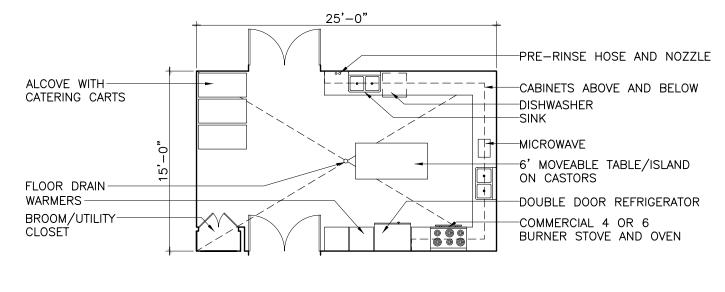
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Figure 6.2.16-1: Child Development Center Staff Lounge Room Diagram

6.2.17 Kitchen/Pantry/Loading Child Development Center

| Description | Commercial kitchen, pantry, indoor storage |
|------------------------|---|
| Quantity | One |
| ASF | 375 |
| Number of | Full Time: 2 |
| Occupants (staff, | Part time: 0-5 |
| parents, volunteers) | |
| Number of | Full Time: N/A |
| Occupants (students) | Part time: N/A |
| Adjacency Requirements | Direct access to loading, parking, trash and storage. Peripheral |
| | access to classrooms. |
| Activities | Preparation of food for Child Development Center. |
| Days of use | Weekdays: Monday – Friday |
| Hours of use | 7 am – 6 p.m. |
| Ceiling Height | 9' min. |
| Finishes | |
| Floor | Quarry tile |
| Base | Quarry tile coved |
| Walls | Washable Painted Gypsum Board |
| Ceiling | Washable Acoustic tile |
| Line of Sight | No Special Requirements |
| Doors | See General Facility Data |
| Windows | See General Facility Data |
| Storage | See General Facility Data Lockable cabinets over and under sinks and counters. |
| - | Alcove for the storage of catering carts |
| | Broom/utility closet |
| Signage | See General Facility Data |
| Security | See General Facility Data |
| Special Requirements | Exterior access for delivery. |
| | All surfaces must be washable and code compliant. |
| | Double door lockable refrigerator. |
| | (2) Single width/door stand-up warmers |
| | Commercial 4 or 6 burner stove and oven |

| Systems | |
|----------------|---|
| Mechanical | Commercial hood, ventilation for stove/oven. See General Facility |
| | Data |
| Plumbing | (2) Two compartment sinks with garbage disposal. |
| _ | Floor drain. |
| | Pre-rinse hose and nozzle. |
| | Dishwasher under the counters. |
| Lighting | See General Facility Data |
| Power | See General Facility Data |
| Communications | |
| Data | Yes |
| Telecom | Yes |
| Video | No Requirements |
| Acoustics | No Special Requirements |
| Room Contents | |
| Group I | |
| Built-ins | See Room Diagram |
| Group II & III | - |
| Movable-Equip. | Microwave oven |
| Furnishings | 6' Movable table/island on castors. See Room Diagram |





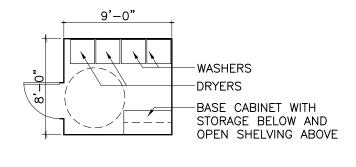
KITCHEN / PANTRY / LOADING 375 ASF ADJACENCIES: LOADING/PARKING, TRASH AND STORAGE; ACCESS TO CLASSROOMS

Figure 6.2.17-1: Child Development Center Kitchen / Pantry / Loading Room Diagram

6.2.18 Laundry Room Child Development Center

| - | |
|------------------------|--|
| Description | Laundry Room |
| Quantity | One |
| ASF | 72 |
| Number of | Full Time: |
| Occupants (staff, | Part time: 2 |
| parents, volunteers) | |
| Number of | Full Time: N/A |
| Occupants (students) | Part time: N/A |
| Adjacency Requirements | Kitchen and janitorial room. |
| Activities | Washing infant bedding, towels, etc. |
| Days of use | Weekdays: Monday – Friday |
| Hours of use | 7 am – 6 p.m. |
| Ceiling Height | 8' min. 9' pref. |
| Finishes | |
| Floor | Vinyl Flooring |
| Base | 4" Resilient Cove Base |
| Walls | Washable Painted Gypsum Board |
| Ceiling | Washable Acoustic tile |
| Line of Sight | No Special Requirements |
| Doors | See General Facility Data. Verify width to accommodate equipment. |
| Windows | See General Facility Data |
| Storage | Cabinets for storage of detergent, etc. |
| Signage | See General Facility Data |
| Security | See General Facility Data |
| Special Requirements | No Special Requirements |
| Future Considerations | No Special Requirements |
| Systems | |
| Mechanical | Dryer to vent to exterior of building. See General Facility Data. Verify |
| | loads of Group II equipment. |
| Plumbing | (2) Commercial washers |
| | Sink <u>(verify)</u> |
| Lighting | See General Facility Data |
| Power | See General Facility Data. Verify loads of Group II equipment. |

| Communications | |
|----------------|--|
| Data | No Requirements |
| Telecom | No Requirements |
| Video | No Requirements |
| Acoustics | See General Facility Data |
| Room Contents | |
| Group I | |
| Built-ins | See Storage and Special Requirements. |
| | See Room Diagram |
| Group II & III | |
| Movable-Equip. | (2 each) Commercial washers and dryers |
| Furnishings | No Requirements |





LAUNDRY ROOM 72 ASF ADJACENCIES: KITCHEN, JANITOR'S ROOM

Figure 6.2.18-1: Child Development Center Laundry Room Diagram

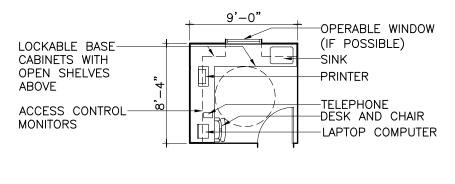
UCR WEST CAMPUS FAMILY STUDENT HOUSING DETAILED PROJECT PROGRAM

R. L. BINDER, FAIA ARCHITECTURE & PLANNING

6.2.19 Maintenance / Access Control Office Child Development Center

| Description | Maintenance: Office / Repair, Access Control |
|------------------------|--|
| Quantity | One |
| ASF | 75 |
| Number of | Full Time: 1 |
| Occupants (staff, | Part time: |
| parents, volunteers) | |
| Number of | Full Time: |
| Occupants (students) | Part time: |
| Adjacency Requirements | Kitchen and electrical / mechanical / IT closets. |
| Activities | Storage and repair shop, Access Control |
| Days of use | Weekdays: Monday – Friday |
| Hours of use | 7 am – 6 p.m. Minimum: 8', Preferred: 10' |
| Ceiling Height | Minimum: 8', Preferred: 10' |
| Finishes | |
| Floor | Vinyl; Flooring |
| Base | 4" Resilient Cove Base |
| Walls | Washable Painted Gypsum Board |
| Ceiling | Washable Painted Gypsum Board I |
| Line of Sight | |
| Doors | See General Facility Data |
| Windows | If possible (operable). See General Facility Data |
| Storage | Lockable base cabinet with open shelves above. |
| Signage | See General Facility Data |
| Security | Card access. (See General Facility Data) |
| Special Requirements | No Special Requirements |
| Future Considerations | No Special Requirements |
| Systems | |
| Mechanical | Air-conditioning (heating & cooling), exhaust fan. (See General Facility Data) |
| Plumbing | Sink |
| Lighting | See General Facility Data |
| Power | (3) 20 amp breakers, (1) 30 amp breaker receptacles. |

| Communications | |
|----------------|---------------------------------------|
| Data | Yes |
| Telecom | Yes |
| Video | See security requirements |
| Acoustics | See General Facility Data |
| Room Contents | |
| Group I | |
| Built-ins | See Storage and Special Requirements. |
| Group II & III | |
| Movable-Equip. | Laptop computer, printer |
| Furnishings | Office chair, desk. See Room Diagram |





MAINTENANCE / ACCESS CONTROL OFFICE

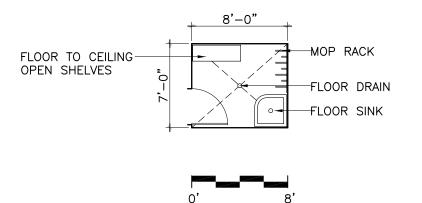
75 ASF ADJACENCIES: KITCHEN/WET WALL AND ELECTRICAL/MECHANICAL/IT CLOSETS

Figure 6.2.19-1: Child Development Center Maintenance / Access Control Office Room Diagram

6.2.20 Janitorial Closet Child Development Center

| Description | Staging and storage of janitorial equipment and supplies |
|------------------------|---|
| Quantity | One |
| ASF | 56 (GSF) |
| Number of | Full Time: N/A |
| Occupants (staff, | Part time: 1 |
| parents, volunteers) | |
| Number of | Full Time: N/A |
| Occupants (students) | Part time: N/A |
| Adjacency Requirements | Trash and kitchen. |
| Activities | Storage of janitorial equipment and supplies. |
| Days of use | Weekdays: Monday – Friday |
| Hours of use | 7 am – 6 p.m. Minimum: 8', Preferred: 10' |
| Ceiling Height | Minimum: 8', Preferred: 10' |
| Finishes | |
| Floor | Sealed Concrete |
| Base | 4" Resilient Cove Base |
| Walls | Washable Painted Gypsum Board |
| Ceiling | Washable Painted Gypsum Board I |
| Line of Sight | |
| Doors | See General Facility Data |
| Windows | No Special Requirements |
| Storage | Open shelves (floor to ceiling) for storage of supplies (towels, toilet |
| | paper, trash bags, cleaning chemicals, etc.) racks to hang mops, |
| | brooms, etc., space for vacuum and buckets. |
| Signage | See General Facility Data |
| Security | Card access. See General Facility Data |
| Special Requirements | No Special Requirements |
| Future Considerations | No Special Requirements |
| Systems | |
| Mechanical | See General Facility Data |
| Plumbing | Floor sink, floor drain |
| Lighting | See General Facility Data |
| Power | See General Facility Data |

| Communications | |
|----------------|-----------------------------|
| Data | No Requirements |
| Telecom | No Requirements |
| Video | No Requirements |
| Acoustics | See General Facility Data |
| Room Contents | |
| Group I | |
| Built-ins | Storage, shelving, mop rack |
| | See Room Diagram |
| Group II & III | |
| Movable-Equip. | No Requirements |
| Furnishings | No Requirements |



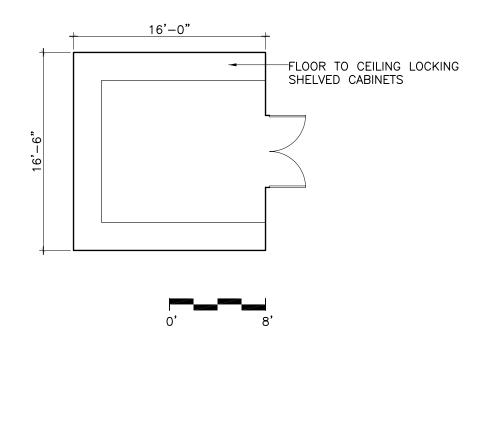
JANITORIAL CLOSET 56 SF – INCLUDED IN BUILDING GSF ADJACENCIES: TRASH/KITCHEN/WET WALL

Figure 6.2.20-1: Child Development Center Janitorial Closet Room Diagram

6.2.21 Facility Storage Room Child Development Center

| Description | Storage Room |
|------------------------|--|
| Quantity | One |
| ASF | 265 |
| Number of | Full Time: 6 |
| Occupants (staff, | Part time: 5 |
| parents, volunteers) | |
| Number of | Full Time: N/A |
| Occupants (students) | Part time: N/A |
| Adjacency Requirements | Play ground. |
| Activities | Storage |
| Days of use | Weekdays: Monday – Friday |
| Hours of use | 7 am – 6 p.m. |
| Ceiling Height | Min. 10ft. Pref. 12ft. |
| Finishes | |
| Floor | Concrete |
| Base | 4" Resilient Cove Base |
| Walls | Painted Gypsum Board |
| Ceiling | Painted Gypsum Board |
| Line of Sight | No Special Requirements |
| Doors | Double doors, lockable |
| Windows | No Requirements |
| Storage | Full height lockable cabinets with adjustable shelving |
| Signage | See General Facility Data |
| Security | Card access door lock. See General Facility Data |
| Special Requirements | Flat easy access. No stairs. Concrete path to storage. |
| Future Considerations | No Special Requirements |
| Systems | |
| Mechanical | Ventilation: Exhaust Fan and Operable Windows, if any |
| Plumbing | No Requirements |
| Lighting | See General Facility Data |
| Power | Provide min. (2) 120-Volt receptacles. See General Facility Data |

| Communications | |
|----------------|--|
| Data | No Requirements |
| Telecom | Telephone / Intercom |
| Video | See security requirements |
| Acoustics | No Special Requirements |
| Room Contents | |
| Group I | |
| Built-ins | Floor to ceiling locking cabinets on all available wall space. |
| Group II & III | |
| Movable-Equip. | No Requirements |
| Furnishings | No Requirements |



FACILITY STORAGE ROOM 265 ASF – INCLUDED IN BUILDING GSF ADJACENCIES: PLAYGROUND

Figure 6.2.21-1: Child Development Center Facility Storage Room Diagram

6.2.22 Play Ground & Covered Play Area Child Development Center

| Description | Outdoor play area with areas of shade structure |
|------------------------|--|
| Quantity | Four (one for each age group) |
| ASF | 75 s. f. per child |
| Number of | Full Time: N/A |
| Occupants (staff, | Part time: 30 |
| parents, volunteers) | |
| Number of | Full Time: N/A |
| Occupants (students) | Part time: 12-72 See General Facility Data |
| Adjacency Requirements | Classrooms, restrooms, trash receptacles and play yards for other |
| | classrooms/age groups |
| Activities | Large group and gross motor activities, science and art curriculums, |
| | reading, eating, water play, gardening, general outdoor play. |
| Days of use | Weekdays: Monday – Friday |
| Hours of use | 7 am – 6 p.m. |
| Ceiling Height | N/A |
| Finishes | |
| Floor | Sand, grass, rubber, concrete |
| Base | N/A |
| Walls | N/A |
| Ceiling | N/A |
| Line of Sight | General supervision blind spots should be avoided. Sinks, patio area, climbing structures, etc. should be located so staff does not have back to the yard. |
| Doors | Possible garage door walls in classrooms to provide maximum access between indoors and out, alternately double doors. |
| Windows | N/A |
| Storage | Locked storage for outdoor curriculum materials. |
| | Large building block storage. |
| | Storage for large, wheeled toys. |
| | Bike storage. |
| | Secure place for children's personal care items (Kleenex, wipes, etc.) and First Aid. |
| | Storage for change of child's shoes and socks. |
| | Storage of artwork. |
| 0 | Earthquake kits. |
| Signage | See General Facility Data. |
| Security | Security fencing required at each area. All gates are to be card |
| | access controlled. See General Facility Data. |

| Special Requirements | Provide for hanging hammocks or fabrics, eating and other activities |
|-----------------------|--|
| | Area for drying and storage of artwork |
| | Bike path |
| | Plantings must be child-friendly |
| | Variety of levels, mounds, hills and sunken areas per accessible |
| | requirements. |
| | Transitional area from indoor to outdoor. (Overhang) |
| Future Considerations | No Special Requirements |
| Systems | |
| Mechanical | N/A |
| Plumbing | Child level drinking fountains |
| | Child level trough sinks with multiple faucets |
| | Hoses in garden and water play areas |
| | Adult level deep sink |
| | Outdoor restroom for each play yard if possible |
| Lighting | Area lights required. See General Facility Data |
| Power | Outdoor outlets with child proof covers |
| Communications | |
| Data | N/A |
| Telecom | PA by phone system |
| Video | See security requirements |
| Acoustics | N/A |
| Contents | |
| Group I | |
| Built-ins | Climbing structures and sandboxes (which can be covered). See |
| | Storage and Special Requirements |
| Group II & III | |
| Movable-Equip. | No Requirements |
| Furnishings | Picnic benches, tables, easels |

6.2.23 Staff Restroom Child Development Center

| Description | Unisex restroom for office staff |
|------------------------|--|
| Quantity | One (or Two) |
| ASF | 123 (or 2 @ 60 s. f.) |
| Number of | Full Time: N/A |
| Occupants | Part time: N/A |
| Adjacency Requirements | Lobby, offices Restrooms available for the use of Staff. |
| Activities | Restrooms available for the use of Staff. |
| Days of use | Weekdays: Monday – Friday |
| Hours of use | 7 am – 6 p.m. |
| Ceiling Height | 9' min. |
| Finishes | |
| Floor | Tile |
| Base | See General Facility Data |
| Walls | See General Facility Data |
| Ceiling | See General Facility Data |
| Sightlines | No Special Requirements |
| Doors | No Special Requirements |
| Windows | See General Facility Data |
| Storage | No Special Requirements |
| Signage | See General Facility Data |
| Security | Panic buttons |
| | See General Facility Data |
| Special Requirements | Accessibility |
| Future Considerations | No Special Requirements |
| Systems | |
| Mechanical | Provide exhaust typ. |
| Plumbing | Toilets, lavs and waterless urinals where provided |
| Lighting | See General Facility Data |
| Power | See General Facility Data |
| Communications | |
| Data | No Requirements |
| Telecom | No Requirements |
| Video | No Requirements |

| Acoustics | See General Facility Data |
|----------------|---|
| Room Contents | |
| Group I | |
| Built-ins | Provide typical toilet room accessories (recessed). |
| Group II + III | |
| Movable-Equip. | No Requirements |
| Furnishings | No Requirements |

Plan per code.

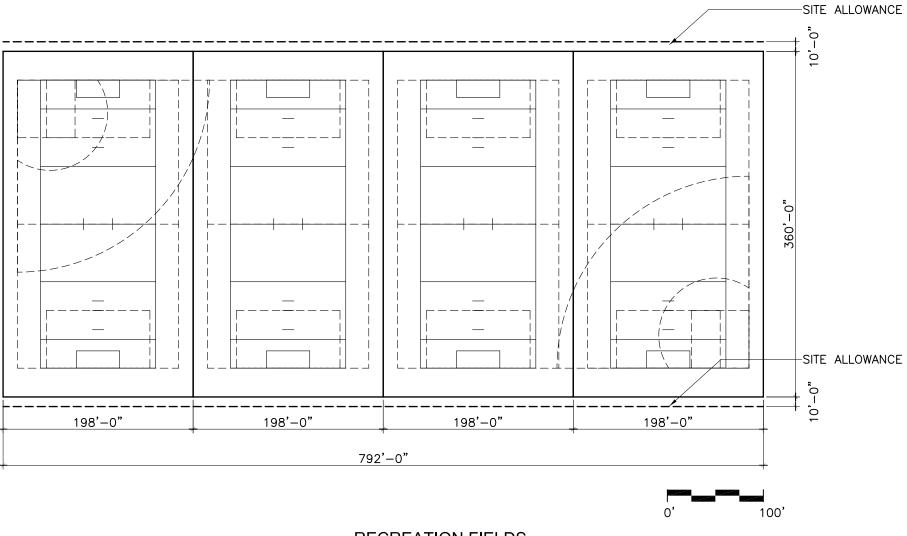
6.3 RECREATION FIELDS

6.3.1 Recreation Fields Recreation Fields

| Description | Grass turf athletic fields for Soccer, Softball, & Flag Football |
|--|---|
| Quantity | (4) field areas (see attached field/configuration diagram) |
| ASF | 120 yards X 264 yards. |
| Number of | Full Time: |
| Occupants | Part time: |
| Adjacency Requirements | Parking, Maintenance and Equipment storage |
| Activities | Intramural sports, Club sports, Summer camp |
| Days of use | Weekdays: M - F full day |
| | Weekends: Saturday full day - Sunday full day |
| Hours of use | 7 am - 11 pm (program use 5 - 11 pm) |
| Relationship of Fields | See attached field / configuration diagram |
| Interface with Northwest and Southwest Mall landscape borders | Phase I access, landscape and parking buffer to the Northwest Mall. Landscape buffer and Phase II access to the Southwest Mall |
| Special Requirements | Field Composition: |
| | A 6" sand base for drainage. The sand base should extend underneath the entire area, including buffer zones and spectator viewing areas (so drainage doesn't stop at field edges leaving water to settle in those areas). Provide "Bullseye" turf, selected from a choice of three (Bullseye, GN1 and Tiftway 2). Access control (fencing and card key gates), fields are for student use only. Provisions for portable PA and scoreboards system is required for all field areas. Field equipment and maintenance storage facility is required and planned in the housing maintenance building. See Section 6.4.4. Field accessible (UCR use only) toilet facilities located on parcel due west of fields in temporary facilities until Recreation Facility is completed. |
| Line of Sight | Field orientation, security concerns and neighborhood environment / |
| Staraga | light pollution are to be addressed in design. |
| Storage | Field and maintenance equipment (6.4.4) |

| <u>Custoinability</u> | Field and landagene planting about the durable and draught and heat |
|-----------------------|--|
| Sustainability | Field and landscape planting should be durable and drought and heat resistant. All physical materials should be low life cycle cost |
| | ····· |
| 0 | conscious. (See section 7.3) |
| Signage | Facility designation (West Campus Recreation Fields) and Field |
| | assignment signage required for facilitating the scheduling of |
| | programs. Otherwise, No Special Requirements. |
| Security | Access control is required in 6' chain link perimeter fence with |
| | lockable gates. All parking lot areas must conform to campus security |
| | lighting and call button / telephone standards. (see Special |
| | Requirements). |
| Access Requirements | See Security requirements. Field maintenance vehicle access is |
| - | required. (See Mall interface requirements.) |
| Plumbing | (3) Drinking fountains (at field access points), temporary field use |
| - | toilets |
| | Point of connection utilities only for temporary facilities and field and |
| | landscape irrigation. (See section 5 for requirements.) |
| Lighting | Field lighting, separate, secured manual controls for each field (see |
| 5 * 5 | attached field/configuration diagram and lighting criteria). See |
| | Security section. |
| Power | Provisions for portable PA and scoreboard systems are required for all |
| | field areas. Coordinate power with Lighting, Security, and Special |
| | Provisions sections. |
| Communication | (See Security section.) Public pay phones are not required. |
| Acoustics | No Special Requirements. |
| Group I | |
| Built-ins | See Security and Special Requirements sections. |
| Group II & III | |
| Movable-Equip. | Portable PA and scoreboard systems and field function related bases |
| | and goals. Verify equipment group 1 or 2 |
| Furnishings | No Special Requirements. |
| Construction | Six inch sand base extended beneath entire field area, including |
| | buffer zones and spectator viewing areas. |
| Future Considerations | Southwest Mall and Phase II Family Student Housing development |
| | access and adjacency should be considered. Future Recreation |
| | Center Facility should be considered regarding parking, field and |
| | storage facility access / adjacency. Storage for the recreation fields |
| | may be included in the recreation center. |
| | may be included in the recreation center. |

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RECREATION FIELDS 120 YARDS X 264 YARDS ADJACENCIES: PARKING, MAINTENANCE, EQUIPMENT STORAGE

Figure 6.3.1-1: Recreation Fields Diagram

6.4 SHARED FACILITIES

This section comprises the overall planning criteria and requirements of:

- Neighborhood Parks (Section 6.4.1)
- Tot Lots (Section 6.4.2)
- Community Center (Section 6.4.3)
- Housing Maintenance Building (Section 6.4.4)

Several Shared Facilities that serve the community best when sited in multiple locations are included in the space program. These functions should be sited during the Schematic Design Phase in the Site Plan.

- Mail: Situated in boxes serviced by the United States Postal Service. Additional receptacles for intra-campus mail.
- Trash & Recycling Areas: Sited in convenient, accessible locations in Phase I.

6.4.1 Neighborhood Parks Shared Facilities

| Description | Outdoor community-wide "play" area |
|------------------------|--|
| Quantity | One |
| GSF | 1,500 Structure |
| Number of | Full Time: N/A |
| Occupants (staff, | Part time: The Community |
| parents, volunteers) | , |
| Number of | Full Time: N/A |
| Occupants (students) | Part time: N/A |
| Adjacency Requirements | Centrally located within the Family Student Housing community |
| Activities | Group gathering, reading, eating, water play, gardening, general outdoor play. |
| Days of use | 7 days a week |
| Hours of use | 5-Midnight |
| Ceiling Height | N/A |
| Finishes | |
| Floor | Sand, grass, rubber, concrete |
| Base | Ceramic Tile (Restrooms) |
| Walls | Ceramic Tile (Restrooms) |
| Ceiling | Acoustic (Restrooms) |
| Line of Sight | No Special Requirements |
| Doors | Solid Core |
| Windows | Operable, Glass Block as applicable |
| Storage | Janitorial supplies |
| Signage | Entry identification, way finding, and accessibility signage should be |
| | provided. |
| Security | Lockable facilities, video surveillance |
| Special Requirements | Provide for shaded picnic areas |
| | Bike parking |
| Future Considerations | No Special Requirements |

| 0 | |
|----------------|---|
| Systems | |
| Mechanical | N/A |
| Plumbing | Drinking fountains |
| - | Water play areas (as possible) |
| | Public toilets |
| | Water to vending |
| Lighting | Area lights required |
| Power | Exterior receptacles at restrooms |
| Communications | |
| Data | N/A |
| Telecom | N/A |
| Video | See security requirements |
| Acoustics | N/A |
| Contents | |
| Group I | |
| Built-ins | Climbing structures and sandboxes (which can be covered). See |
| | Storage and Special Requirements |
| Group II & III | ~ · · · |
| Movable-Equip. | Vending machines |
| Furnishings | Picnic benches, tables |

6.4.2 Tot Lots Shared Facilities

| Description | Outdoor play area for young children. |
|------------------------|---|
| Quantity | One per housing parcel |
| ASF | N/A |
| Number of | Full Time: N/A |
| Occupants (staff, | Part time: N/A |
| parents, volunteers) | |
| Number of | Full Time: N/A |
| Occupants (students) | Part time: N/A |
| Adjacency Requirements | Family student housing parcels |
| Activities | General outdoor play and eating. |
| Days of use | 7 days a week |
| Hours of use | Daylight hours |
| Ceiling Height | N/A |
| Finishes | |
| Floor | Sand, grass, rubber, concrete |
| Base | N/A |
| Walls | Fencing |
| Ceiling | N/A |
| Line of Sight | General supervision blind spots should be avoided. Climbing structures, |
| | etc. should be located so benches face the yard. |
| Doors | Lockable gates |
| Windows | N/A |
| Storage | N/A |
| Signage | Entry identification, way finding, accessibility and exiting signage should |
| | be provided. |
| Security | Security fencing and video surveillance required at each area. |
| Special Requirements | Plantings must be child-friendly |
| | Variety of levels, mounds, hills and sunken areas per accessible |
| | requirements. |
| Future Considerations | No Special Requirements |

| Systems | |
|----------------|---|
| Mechanical | N/A |
| Plumbing | Child level drinking fountains |
| Ū | Water play areas (To Be Determined) |
| Lighting | Area lights required. See General Facility Data |
| Power | No Special Requirements |
| Communications | |
| Data | N/A |
| Telecom | N/A |
| Video | See security requirements |
| Acoustics | N/A |
| Contents | |
| Group I | |
| Built-ins | Climbing structures, sandboxes, and swings (which may be shaded). |
| | See Storage. |
| Group II & III | - |
| Movable-Equip. | No Requirements |
| Furnishings | Benches |

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6.4.3

General Facility Shared Facilities: Community Center

| Description | General Community Facility Requirements |
|------------------------|--|
| Quantity | One |
| GSF | 6.400 |
| Number of | Full Time: |
| Occupants | Part time: 86 |
| Adjacency Requirements | Northwest Mall or Iowa, Child Development Center, Neighborhood Parks and Family Student Housing. Vehicle access from CDC should accommodate a loading/waiting area and bicycle parking. |
| Activities | Office: Move-in/move-out, work orders, parking permits, room reservations, counseling, equipment check-out, poster making, meetings; Community: Meetings, conferences, socializing, dinner, parties, after school programs, library, computer lab |
| Days of use | 7 days a week |
| Hours of use | Community spaces to be accessible separate from office spaces. |
| Ceiling Height | Ample space, openness in the interior, bright |
| Finishes | |
| Floor | Floor covering should offer both quiet carpeted areas and hard surfaces for ease of cleanup. Carpeting should be antibacterial. Carpet tiles are recommended to facilitate ease of replace as needed. |
| Base | 4" Resilient Cove Base, Typ. Ceramic Tile, cove at tile floor areas |
| Walls | All wall surfaces should be durable and washable particularly the lower half. |
| Ceiling | All ceiling surfaces should durable, washable at wet and service function areas, and provide as much acoustic control as possible. |
| Sightlines | See individual room data sheets |
| Doors | Rear access and double entry doors |
| Windows | All windows should have safety glazing. Provide dual glazing at all areas where thermal and acoustic control is required. All east, south and west exposures should be provided with passive solar shading devises. Frames should be durable and low maintenance. Prefer sliding, casements are problematic. Not recessed. |

| Storage | Storage room, cabinets, lockable shelves, storage cabinet near copy |
|----------|--|
| | machine for paper, filing cabinets, separate closets for office supplies |
| | cleaning supplies and check out equipment, indoor and outdoor storage |
| | areas, large storage area required for programming, supplies, tables and |
| | chairs |
| Signage | Building and entry identification, way finding, accessibility and exiting |
| | signage should be provided. Parking entry / drop-off, accessibility and |
| | control signage should also be provided. |
| Security | The facility security system must interface with the Campus Housing |
| | Operations security control and monitoring system. The campus has |
| | provided the following as a basis for programming: |
| | Lenel software & hardware components are the primary operations |
| | platform for all access control including locks, cameras, DVR's, & |
| | alarms. |
| | IDH Max prox readers by BEST ACCESS SYSTEMS, hard wired. |
| | Mullion mounted prox readers on storefront applications Lene |
| | LPMM-6800. |
| | Electrified VonDuprin hardware 33 series. |
| | Detex brand removable mullion for lobby doors, heavy-duty mode #F90KR. |
| | Lenel card reader at lobby and all card reader locations. |
| | Lenel card readers with door position switches on all gates in play |
| | area. |
| | • Cameras are to be Pelco pan, tilt, zoom (PTZ's) at lobby |
| | Reception area, and at all exterior locations including parking lots. |
| | Central viewing station preferably at the lobby desk. A 2nd a |
| | Access Control Room. |
| | DVR's (Digital Video Recorders) are to be Pelco DX 7000 series |
| | w/PTZ function |
| | Software to include Pelco motion detection sensor |
| | Fixed cameras (if any) are to have "vara-focal" wide angle lenses |
| | Priority 1 wish list: |
| | Infant Child Tag system, locks all doors when unauthorized exit is |
| | attempted |
| | Facial Recognition system to prevent wrongful removal of children |
| | Remote/hardwired panic buttons throughout building for Police notification |
| | |

| Special Requirements | Separate restrooms in lobby area, resident access is through lobby area, pay phone, soda/water machine, drinking fountain in lobby, house phone for residents to make local calls, covered patio for congregating and eating. |
|-----------------------|--|
| Future Considerations | Space for expansion, staff, technology upgrades, wireless office |
| Systems | |
| Mechanical | Air conditioning (with separate controls), exhaust fan, separate air conditioned zones, ceiling fans |
| Plumbing | Men's and Women's restrooms: Automatic flush toilets, one children's level toilet and sink; waterless urinals Staff lounge: Sink, garbage disposal, dishwasher; Lobby: Drinking fountain |
| Lighting | Exterior: Flood and patio lights; Interior: Overhead dimmable fluorescent lights, nooks with task lighting, recessed lighting, light sensors |
| Power | Outlets to be four-plex, plug covers and child proof inserts, provisions for 6 computers with printers, emergency power generator, outlets on every wall for data, phone, fax, intercom system throughout building, door chime |
| Communications | |
| Data | See individual room data sheets. |
| Telecom | Pay phone located near restrooms, connection to campus police system |
| Video | CATV or Satellite, See security requirements |
| Acoustics | All design elements should provide for sound attenuation especially in the offices and administrative spaces for privacy. |
| Room Contents | *************************************** |
| Group I | |
| Built-ins | See individual room data sheets. |
| Group II + III | |
| Movable-Equip. | See individual room data sheets. |
| Furnishings | See individual room data sheets. |

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OUTDOORS

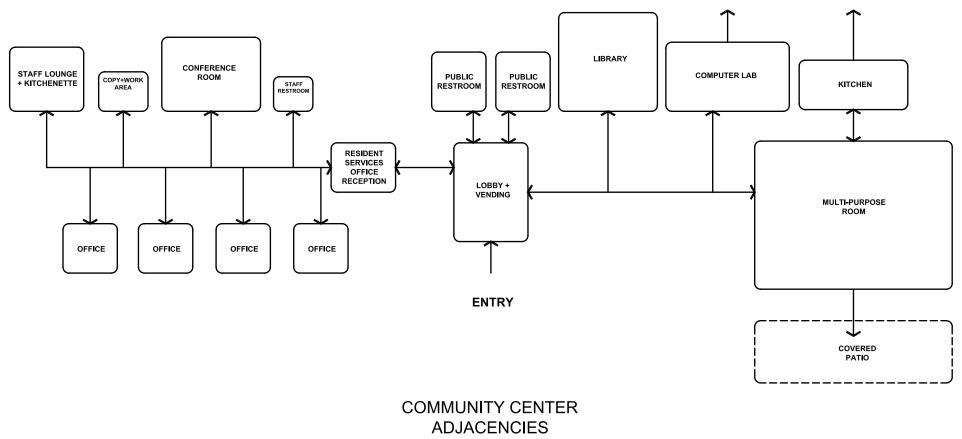
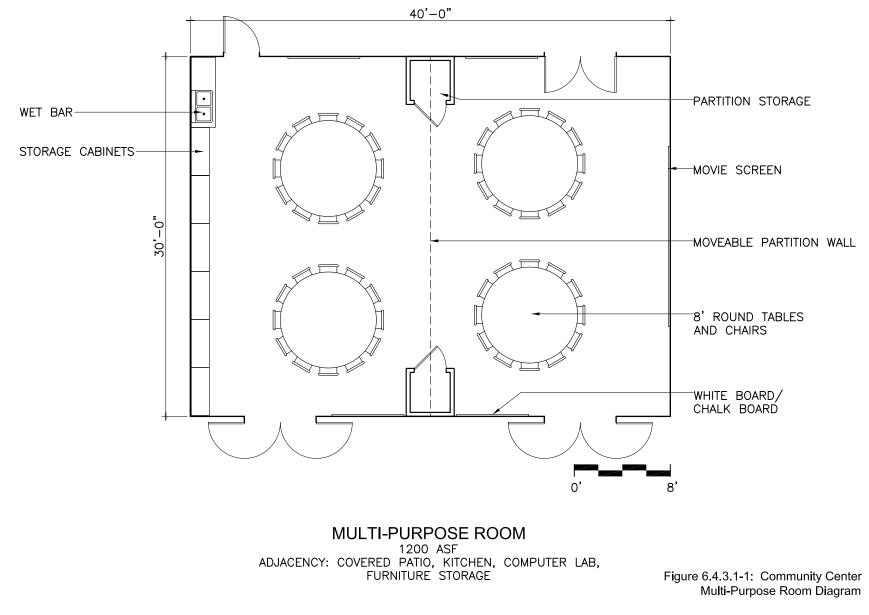


Figure 6.4.3-1: Community Center Community Center Adjacency Diagram

6.4.3.1 Multi-Purpose Room Shared Facilities: Community Center

| Description | Community activitics |
|------------------------|---|
| Quantity | Community activities One |
| ASF | 1.200 |
| Number of | Full Time: |
| | Part time: 80 |
| Occupants | |
| Adjacency Requirements | Covered Patio, Kitchen, Computer Lab, Furniture Storage |
| Activities | Meetings, conferences, socializing, dinner, parties, after school |
| Days of use | programs 7 days a week |
| Hours of use | 8 am - 10 pm Sunday - Thursday |
| Hours of use | 8 am - 12 am Friday and Saturday |
| Ceiling Height | 8'-9' |
| Finishes | 0-3 |
| Floor | Cornet with vinul fleering at convice areas |
| Base | Carpet with vinyl flooring at service areas See General Facility Data |
| Walls | |
| Ceiling | See General Facility Data See General Facility Data |
| Sightlines | Column free space |
| Doors | |
| Doors | Provide Movable partitions, accommodating two equal occupancy rooms and double doors to facilitate furniture movement. |
| Windows | |
| | See General Facility Data |
| Storage | See storage room data |
| Signage | See General Facility Data |
| Security | Card access. See General Facility Data |
| Special Requirements | Patio with barbecue area, common area wall with white boards and chalk boards |
| Future Considerations | Room may accommodate extended day care program |
| Systems | |
| Mechanical | Separate air conditioned zone, ceiling fans |
| Plumbing | Wet bar |
| Lighting | Overhead dimmable fluorescent lights |
| Power | See General Facility Data |

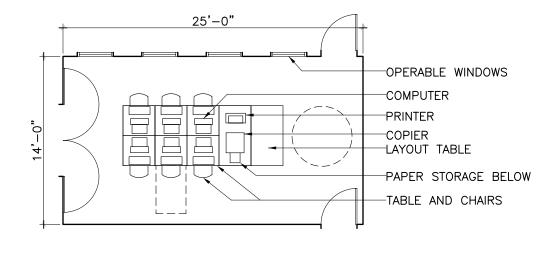
| Communications | |
|----------------|---|
| Data | Internet access with 3 data ports per wall in the main area and several on the floor |
| Telecom | Campus phone, jacks at wall |
| Video | CATV or Satellite |
| Acoustics | Noise control, built in sound system with indoor and outdoor speakers |
| Room Contents | |
| Group I | |
| Built-ins | storage cabinets, counter |
| Group II + III | - |
| Movable-Equip. | No Requirements |
| Furnishings | Tables (8' rounds) and chairs |



6.4.3.2 Computer Lab Shared Facilities: Community Center

| Description | |
|------------------------|---|
| Description | Community Computer Lab |
| Quantity | One |
| ASF | 350 |
| Number of | 6 Stations |
| Occupants | |
| Adjacency Requirements | Outdoor entrance, Library, Multi-Purpose Room |
| Activities | Email, internet, studying, printing |
| Days of use | 7 days a week |
| Hours of use | 8 am – 10 pm Sunday – Thursday |
| | 8 am – 12 am Friday and Saturday |
| Ceiling Height | 9' min. |
| Finishes | |
| Floor | Carpet (anti-static) |
| Base | See General Facility Data |
| Walls | See General Facility Data |
| Ceiling | See General Facility Data |
| Sightlines | No Special Requirements |
| Doors | Double doors to facilitate equipment movement |
| Windows | Design to minimize glare at equipment screens |
| Storage | Provide for paper and miscellaneous supplies |
| Signage | See General Facility data |
| Security | Card access, security camera |
| Special Requirements | Windows and lighting should provide non-glare working environment. |
| Future Considerations | No Special Requirements |
| Systems | |
| Mechanical | Air Conditioning adequate for machine load, well ventilated |
| | (requirement of copy machine), zoned |
| Plumbing | No Requirements |
| Lighting | Overhead dimmable fluorescent lights |
| Power | 4-5 outlets per wall, plug covers, provisions for 16 computers, printer, copier |

| Communications | |
|----------------|--|
| Data | Campus data standards to accommodate equipment. |
| Telecom | No Requirements |
| Video | Provide CATV outlet. |
| Acoustics | See General Facility Data |
| Room Contents | |
| Group I | |
| Built-ins | Provide copier / printer and layout counter tops with storage below. |
| Group II + III | |
| Movable-Equip. | 6 Computers, printer, copier |
| Furnishings | 6 Computer work stations. |





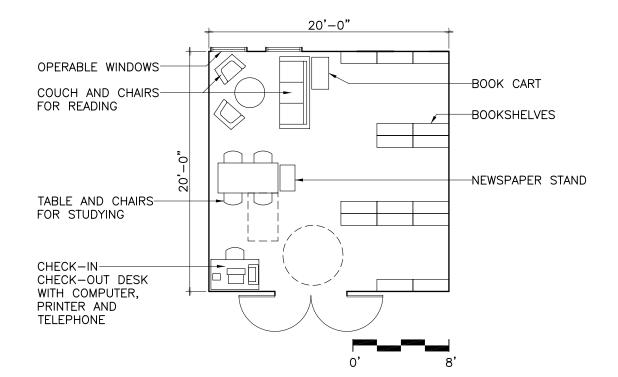
COMPUTER LAB 350 ASF ADJACENCY: OUTDOOR ACCESS, LIBRARY, MULTI-PURPOSE ROOM

Figure 6.4.3.2-1: Community Center Computer Lab Room Diagram

6.4.3.3 Library Shared Facilities: Community Center

| D | |
|------------------------|---|
| Description | Community Library for reading and studying |
| Quantity | One |
| ASF | 400 |
| Number of | Full Time: |
| Occupants | Part time: 20 |
| Adjacency Requirements | Computer Lab |
| Activities | Internet research, reading, studying |
| Days of use | 7 days a week |
| Hours of use | 8 am – 10 pm Sunday - Thursday |
| | 8 am – 12 am Friday and Saturday |
| Ceiling Height | 9' min. |
| Finishes | |
| Floor | Carpet (anti-static) |
| Base | See General Facility Data |
| Walls | See General Facility Data |
| Ceiling | See General Facility Data |
| Sightlines | Maintain observation sightlines of facility from check-in desk. |
| Doors | Double doors to facilitate movement of furniture and equipment. |
| Windows | See General Facility data |
| Storage | Book shelves, newspaper stand, etc. |
| _ | See Room Diagram |
| Signage | See General Facility Data |
| Security | See General Facility Data |
| Special Requirements | No Special Requirements |
| Future Considerations | No Special Requirements |
| Systems | |
| Mechanical | See General Facility Data |
| Plumbing | No Special Requirements |
| Lighting | Overhead dimmable fluorescent lights, nooks with task lighting. See |
| | General Facility Data |
| Power | See General Facility Data |
| Communications | |
| Data | Data port at check-in desk |
| Telecom | Telecom / PA at check-in desk |
| Video | No Requirements |

| Acoustics | Noise control, built in sound system |
|----------------|--|
| Room Contents | |
| Group I | |
| Built-ins | No Requirements |
| Group II + III | |
| Movable-Equip. | Computer, printer |
| Furnishings | Check-in check-out desk with computer, printer and telephone; bookshelves, couches or chairs for reading, tables and chairs for studying, book cart, newspaper stand |



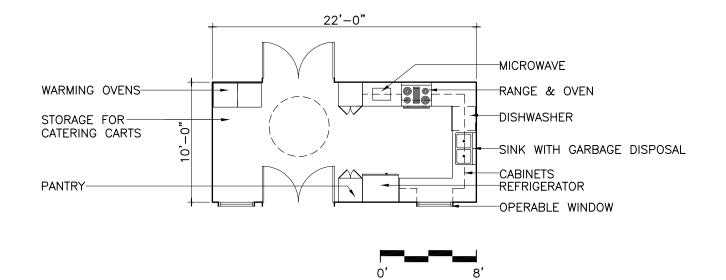
LIBRARY 400 ASF ADJACENCY: COMPUTER LAB

Figure 6.4.3.3-1: Community Center Library Room Diagram

6.4.3.4 Kitchen Shared Facilities: Community Center

| S | |
|------------------------|---|
| Description | Community / Catering Kitchen |
| Quantity | One |
| ASF | 220 |
| Number of | Full Time: |
| Occupants | Part time: 6 |
| Adjacency Requirements | Outdoor loading access, Multi-Purpose Room |
| Activities | Cooking / catering for community events for and by the residents. |
| Days of use | 7 days a week |
| Hours of use | 8 am – 10 pm Sunday - Thursday |
| | 8 am – 12 am Friday and Saturday |
| Ceiling Height | 9' min. |
| Finishes | |
| Floor | Vinyl Flooring |
| Base | See General Facility Data |
| Walls | See General Facility Data |
| Ceiling | See General Facility Data |
| Sightlines | No Special Requirements |
| Doors | Double doors to accommodate loading and catering carts |
| Windows | No Special Requirements |
| Storage | Cabinets for kitchen supplies and equipment |
| Signage | See General Facility Data |
| Security | See General Facility Data |
| Special Requirements | No Special Requirements |
| Future Considerations | No Requirements |
| Systems | |
| Mechanical | Separate zone, hood exhaust |
| | See general Facility Data |
| Plumbing | Sink, garbage disposal, dishwasher |
| Lighting | Overhead lights |
| | See General Facility Data |
| Power | Ample counter height outlets for kitchen equipment |
| Communications | |
| Data | No Requirements |
| Telecom | Telecom / PA outlet |
| Video | No Requirements |

| Acoustics | No Special Requirements |
|---|---|
| Room Contents Group I | |
| Built-ins | Base and wall cabinets, pantry See Room Diagram |
| Group II + III Movable-Equip. Furnishings | Refrigerator, microwave, stove, oven, warming ovens, catering carts |



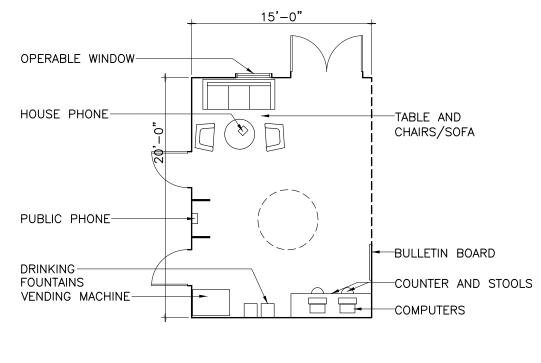
KITCHEN 220 ASF ADJACENCY: OUTDOOR LOADING, MULTI-PURPOSE ROOM

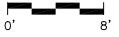
Figure 6.4.3.4-1: Community Center Kitchen Room Diagram

6.4.3.5 Lobby & Vending Shared Facilities: Community Center

| Description | |
|------------------------|---|
| Description | Lobby area with vending machines for Housing Office and Community Building |
| Quantity | One |
| ASF | 300 |
| Number of | Suo Full Time: |
| | |
| Occupants | Part time: |
| Adjacency Requirements | Access to Grade, Restrooms, Reception |
| Activities | |
| Days of use | 7 days a week |
| Hours of use | 8 am – 10 pm Sunday - Thursday |
| | 8 am – 12 am Friday and Saturday |
| Ceiling Height | 8' |
| Finishes | |
| Floor | Vinyl Flooring |
| Base | See General Facility Data |
| Walls | See General Facility Data |
| Ceiling | See General Facility Data |
| Sightlines | No Special Requirements |
| Doors | Double entry door |
| Windows | See General Facility Data |
| Storage | No Requirements |
| Signage | See General Facility Data |
| Security | Surveillance cameras, alarmed doors, card access |
| - | See General Facility Data |
| Special Requirements | Easy access (no stairs), ramp, automatic door, access to men's and |
| | women's restrooms, pay phone, soda/water vending machine, |
| | drinking fountain, house phone for residents to make local calls |
| Future Considerations | No Special Requirements |
| Systems | |
| Mechanical | Air conditioning zone |
| Plumbing | Drinking fountain |
| Lighting | See General Facility Data |
| Power | See General Facility Data |

| Communications | |
|--------------------------|-----------------------------------|
| Data | Data ports for computer stations. |
| | See Room Diagram |
| Telecom | Telecom / PA |
| | See Special Requirements Section |
| Video | See security requirements |
| Acoustics | See General Facility Data |
| Room Contents Group I | |
| Built-ins | No Requirements |
| Group II + III | , |
| Movable-Equip. | Computer work stations / stools |
| Furnishings | Bulletin board, tables and chairs |





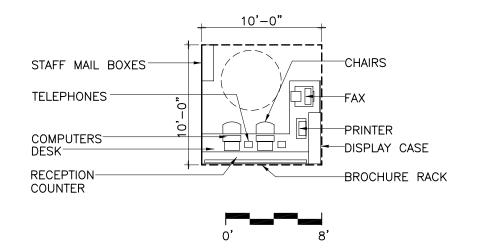
LOBBY & VENDING 300 ASF ADJACENCY: ACCESS TO GRADE, PUBLIC RESTROOMS, RECEPTION

Figure 6.4.3.5-1: Community Center Lobby & Vending Room Diagram

6.4.3.6 Resident Services Office Reception Shared Facilities: Community Center

| Description | Reception for Housing Office and Community Building |
|------------------------|--|
| Quantity | One |
| ASF | 100 |
| Number of | Full Time: 2 |
| Occupants | Part time: |
| Adjacency Requirements | Lobby, Resident Services Offices, Copy + Work Area, Staff Lounge, |
| | Conference Room, Staff Restroom |
| Activities | Move-in/Move-out, Work Orders, Parking Permits, Room |
| | Reservations, Counseling, Equipment Check-out |
| Days of use | Weekdays: 5 |
| Hours of use | 8 am – 5 pm |
| Ceiling Height | 8' min. |
| Finishes | |
| Floor | Carpet (anti-static) |
| Base | See General Facility Data |
| Walls | See General Facility Data |
| Ceiling | See General Facility Data |
| Sightlines | Maintain visual supervision of lobby |
| Doors | No Special Requirements |
| Windows | No Special Requirements |
| Storage | No Special Requirements |
| Signage | See General Facility Data Panic buttons, surveillance cameras, alarmed doors, card access |
| Security | Panic buttons, surveillance cameras, alarmed doors, card access |
| - | See General Facility Data |
| Special Requirements | No clear access to staff areas by community residents, specific area |
| | to place fax machine |
| Future Considerations | No Special Requirements |
| Systems | |
| Mechanical | See General Facility Data |
| Plumbing | No Requirements |
| Lighting | See General Facility Data |
| Power | See General Facility Data |

| Communications | |
|----------------|---|
| Data | Data ports at reception counter |
| Telecom | Telecom / PA |
| Video | See security requirements |
| Acoustics | See General Facility Data |
| Room Contents | |
| Group I | |
| Built-ins | Display case and brochure rack, staff mail boxes, counter |
| Group II + III | |
| Movable-Equip. | Fax, computers, phones, printer |
| Furnishings | Chairs |



RESIDENT SERVICES OFFICE RECEPTION 100 ASF ADJACENCY: LOBBY+VENDING, RESIDENT SERVICES OFFICES, COPY+WORK AREA, STAFF Figure 6.4.3.6-1: Community Center LOUNGE, CONFERENCE ROOM, STAFF RESTROOM Resident Services Office Reception Room Diagram

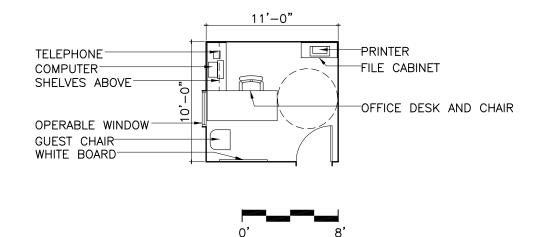
UCR WEST CAMPUS FAMILY STUDENT HOUSING DETAILED PROJECT PROGRAM

R. L. BINDER, FAIA ARCHITECTURE & PLANNING

6.4.3.7 Resident Services Offices (4) Shared Facilities: Community Center

| Description | Offices for Family Student Housing Services |
|------------------------|--|
| Quantity | Four |
| ASF | 110 each |
| Number of | Full Time: 1 each |
| Occupants | Part time: |
| Adjacency Requirements | Staff Lounge + Kitchenette, Copy + Work Area |
| Activities | Move-in/Move-out, Work Orders, Parking Permits, Room |
| | Reservations, Counseling, Equipment Check-out, Poster Making, Meetings |
| Days of use | Weekdays: 5 |
| Hours of use | 8 am – 5pm |
| Ceiling Height | 8' |
| Finishes | |
| Floor | Carpet (anti-static) |
| Base | See General Facility Data |
| Walls | See General Facility Data |
| Ceiling | See General Facility Data |
| Sightlines | No Special Requirements |
| Doors | No Special Requirements |
| Windows | See General Facility Data |
| Storage | Cabinets, filing cabinets |
| Signage | See General Facility Data |
| Security | Panic buttons, card access |
| - | See General Facility Data |
| Special Requirements | Preferred room configuration is square |
| Future Considerations | No Special Requirements |
| Systems | *************************************** |
| Mechanical | Air conditioning zone |
| Plumbing | No Special Requirements |
| Lighting | See General Facility Data |
| Power | See General Facility Data |

| Communications | |
|----------------|---|
| Data | Data ports (2 locations) |
| Telecom | Telecom / PA |
| Video | No Requirements |
| Acoustics | Provide acoustic privacy |
| Room Contents | |
| Group I | |
| Built-ins | No Requirements |
| Group II + III | |
| Movable-Equip. | White boards, computer, telephone, one printer per office |
| Furnishings | System Furniture |



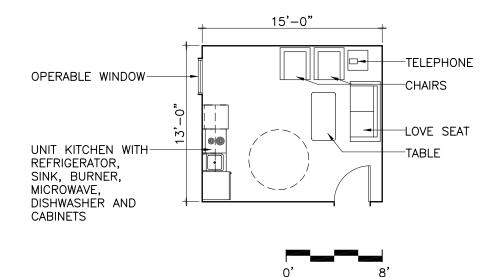
RESIDENT SERVICES OFFICES (4) 110 ASF EACH ADJACENCY: STAFF LOUNGE, COPY+WORK AREA

Figure 6.4.3.7-1: Community Center Resident Services Offices Room Diagram

6.4.3.8 Staff Lounge & Kitchenette Shared Facilities: Community Center

| Description | Staff Lounge and Break Room with Kitchenette |
|---------------------------|---|
| Quantity | One |
| ASF | 195 |
| Number of | Full Time: |
| Occupants | Part time: 6 |
| Adjacency Requirements | Offices |
| Activities | Staff's lunch and break area, including food preparation. |
| Days of use | Weekdays: 5 |
| Hours of use | |
| Ceiling Height | 8 am – 5 pm 8' min. |
| Finishes | O [[]]]. |
| Finisnes Floor | Correct |
| Base | Carpet |
| Walls | See General Facility Data See General Facility Data |
| Ceiling | See General Facility Data |
| Sightlines | No Special Requirements |
| Doors | |
| Windows | No Special Requirements |
| Storage | See General Facility Data Cabinets above / below countertops |
| | |
| Signage | See General Facility Data |
| Security | Panic buttons, card access |
| Creatial Descriptions and | See General Facility Data |
| Special Requirements | Unit Kitchen |
| Future Considerations | No Special Requirements |
| Systems | A. 1971 1 |
| Mechanical | Air conditioning zone |
| Plumbing | As required for unit kitchen |
| Lighting | See General Facility Data |
| Power | See General Facility Data |
| Communications | (2) data parta |
| Data | (2) data ports |
| Telecom | Telecom / PA CATV |
| Video | |
| Acoustics | See General Facility Data |

| Room Contents Group I | |
|--------------------------|--|
| Built-ins | No Requirements |
| Group II + III | |
| Movable-Equip. | Unit Kitchen with refrigerator, sink, burner, microwave, dishwasher and cabinets |
| Furnishings | Couch, table, chairs, telephone See Room Diagram |



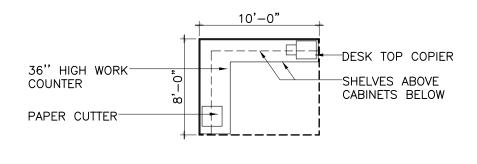
STAFF LOUNGE & KITCHENETTE 195 ASF ADJACENCY: RESIDENT SERVICES OFFICES

Figure 6.4.3.8-1: Community Center Staff Lounge & Kitchenette Room Diagram

6.4.3.9 Copy/Work Area Shared Facilities: Community Center

| Description | Dedicated space for copy machine, paper storage, poster making and |
|------------------------|--|
| | other production oriented work |
| Quantity | One |
| ASF | 80 |
| Number of | Full Time: |
| Occupants | Part time: 6 |
| Adjacency Requirements | Offices, reception |
| Activities | Copying, Poster Making, Document organization and other production |
| | oriented activities |
| Days of use | Weekdays: 5 |
| Hours of use | 8 am – 5 pm |
| Ceiling Height | 8' min. |
| Finishes | |
| Floor | Carpet (anti-static) |
| Base | See General Facility Data |
| Walls | See General Facility Data |
| Ceiling | See General Facility Data |
| Sightlines | No Special Requirements |
| Doors | No Special Requirements |
| Windows | See General Facility Data |
| Storage | Shelves for production materials, storage cabinet near copy machine |
| - | for paper |
| Signage | See General Facility Data |
| Security | See General Facility Data |
| Special Requirements | No Special Requirements |
| Future Considerations | No Special Requirements |
| Systems | |
| Mechanical | Air conditioning zone, well ventilated (requirement of copy machine) |
| | See General Facility Data |
| Plumbing | No Requirements |
| Lighting | See General Facility Data |
| Power | Data, phone, fax, intercom system |
| | 110 volt outlet, 30 Amp for one copy machine. |

| Communications | |
|-------------------------------|--|
| Data | (1) Data Port |
| Telecom | Telecom / PA |
| Video | No Requirements |
| Acoustics | See General Facility Data |
| Room Contents | |
| Group I | |
| Built-ins | Counter with shelves above and cabinets below |
| Group II + III | |
| Movable-Equip. Furnishings | Desk top copy machine, paper cutter No Requirements |
| i urnisinings | |





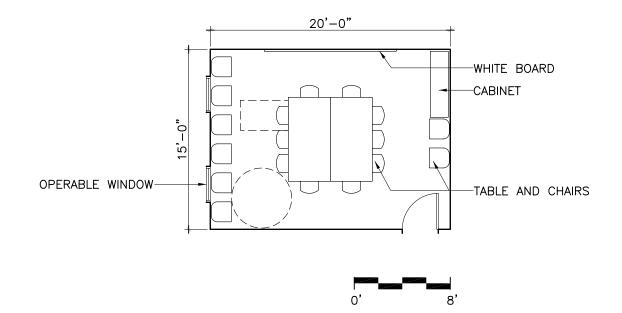
COPY / WORK AREA 80 ASF ADJACENCY: RESIDENT SERVICES OFFICES, RECEPTION

Figure 6.4.3.9-1: Community Center Copy / Work Area Diagram

6.4.3.10 Conference Room Shared Facilities: Community Center

| Description | |
|------------------------|------------------------------------|
| Description | Conference room |
| Quantity | One |
| ASF | 300 |
| Number of | Full Time: |
| Occupants | Part time: 20 max. at any one time |
| Adjacency Requirements | Offices |
| Activities | Counseling, Meetings |
| Days of use | Weekdays: 5 |
| Hours of use | 8 am – 5 pm |
| Ceiling Height | 9' min. 11' pref. |
| Finishes | |
| Floor | Carpet |
| Base | See General Facility Data |
| Walls | See General Facility Data |
| Ceiling | See General Facility Data |
| Sightlines | No Special Requirements |
| Doors | No Special Requirements |
| Windows | See General Facility Data |
| Storage | Cabinets |
| Signage | See General Facility Data |
| Security | Panic buttons, card access |
| - | See General Facility Data |
| Special Requirements | No Special Requirements |
| Future Considerations | No Special Requirements |
| Systems | |
| Mechanical | Air conditioning zone |
| Plumbing | No Requirements |
| Lighting | See General Facility Data |
| Power | See General Facility Data |
| Communications | |
| Data | (4) Data Ports |
| Telecom | Télecom / PA |
| Video | See General Facility Data |
| Acoustics | See General Facility Data |

| Room Contents Group I Built-ins | Cabinet | |
|---------------------------------------|----------|--|
| Group II + III | Odbillet | |
| Movable-Eo Furnishings | | |
| Furnishings | | |



CONFERENCE ROOM 300 ASF ADJACENCY: RESIDENT SERVICES OFFICES

Figure 6.4.3.10-1: Community Center Conference Room Diagram

6.4.3.11 Staff Restroom Shared Facilities: Community Center

| Description | Unisex restroom for office staff |
|------------------------|--|
| Quantity | One |
| ASF | Included in building GSF |
| Number of | Full Time: N/A |
| Occupants | Part time: N/A |
| Adjacency Requirements | Lobby, offices |
| Activities | Restrooms available for the use of Staff. |
| Days of use | 7 days a week |
| Hours of use | Staff restroom available during office hours. |
| Ceiling Height | 9' min. |
| Finishes | |
| Floor | Tile |
| Base | See General Facility Data |
| Walls | See General Facility Data |
| Ceiling | See General Facility Data |
| Sightlines | No Special Requirements |
| Doors | No Special Requirements |
| Windows | See General Facility Data |
| Storage | No Special Requirements |
| Signage | See General Facility Data |
| Security | Panic buttons |
| | See General Facility Data |
| Special Requirements | Accessibility |
| Future Considerations | No Special Requirements |
| Systems | |
| Mechanical | Provide exhaust typ. |
| Plumbing | Toilets, lavs and waterless urinals where provided |
| Lighting | See General Facility Data |
| Power | See General Facility Data |
| Communications | |
| Data | No Requirements |
| Telecom | No Requirements |
| Video | No Requirements |
| Acoustics | See General Facility Data |

| Room Contents Group I | |
|-------------------------------|---|
| Built-ins Group II + III | Provide typical toilet room accessories (recessed). |
| Movable-Equip. Furnishings | No Requirements No Requirements |

6.4.3.12 Storage Room Shared Facilities: Community Center

| Description | Storage room for moveable furniture and supplies. | |
|------------------------|---|--|
| Quantity | One room, 3 closets and interior and exterior storage areas | |
| ASF | Closets and exterior included in building GSF | |
| Number of | Full Time: | |
| Occupants | Part time: | |
| Adjacency Requirements | Offices, Kitchen and Multi-Purpose Room | |
| Activities | Storage of chairs, tables, check-out equipment, cleaning supplies, | |
| | office supplies, and kitchen supplies | |
| Days of use | 7 days a week | |
| Hours of use | 8 am – 10 pm Sunday-Thursday | |
| | 8 am – 12 am Friday and Saturday | |
| Ceiling Height | 8 am – 12 am Friday and Saturday 8 min. 9' pref. | |
| Finishes | | |
| Floor | Sealed Concrete | |
| Base | See General Facility Data | |
| Walls | See General Facility Data | |
| Ceiling | See General Facility Data | |
| Sightlines | No Special Requirements | |
| Doors | Double doors to facilitate movements | |
| Windows | No Requirements | |
| Storage | Storage room, lockable cabinets, interior storage areas, tables and | |
| | chairs, separate closets for office supplies, cleaning supplies and | |
| | check out equipment | |
| Signage | See General Facility Data | |
| Security | Card access, Surveillance and PA capabilities required. See General | |
| | Facility Data | |
| Special Requirements | Flat easy access. No stairs. Concrete path to exterior storage. | |
| Future Considerations | No Special Requirements | |
| Systems | | |
| Mechanical | Ventilation: Exhaust fan | |
| Plumbing | No Requirements | |
| Lighting | See General Facility Data | |
| Power | Provide min. (2) 120 volt receptacles. | |
| | See General Facility Data | |

| Communications | |
|----------------|---------------------------|
| Data | No Requirements |
| Telecom | Telecom / PA |
| Video | See security requirements |
| | See General Facility Data |
| Acoustics | No Special Requirements |
| Room Contents | |
| Group I | |
| Built-ins | Shelving in cabinets |
| Group II | |
| Movable-Equip. | No Requirements |
| Furnishings | No Requirements |

6.4.3.13 Covered Patio Shared Facilities: Community Center

| Description | Covered Patio |
|------------------------|--|
| Quantity | One |
| ASF | 500 @50%, included in building GSF |
| Number of | Full Time: |
| Occupants | Part time: 86 |
| Adjacency Requirements | Multi-Purpose Room |
| Activities | Barbecue, dinner, socializing, playing |
| Days of use | 7 days a week |
| Hours of use | 8 am – 10 pm Sunday - Thursday |
| | 8 am – 12 am Friday and Saturday |
| Ceiling Height | 8' min. |
| Finishes | |
| Floor | Grass as well as hard surfaces |
| Base | N/A |
| Walls | N/A |
| Ceiling | Overhead shade structure |
| Sightlines | No Special Requirements |
| Doors | Double doors to facilitate furniture movement. |
| Windows | See General Facility Data |
| Storage | Locked exterior storage |
| Signage | See General Facility Data |
| Security | Card access, security camera |
| | See General Facility Data |
| Special Requirements | Area for barbecue |
| Future Considerations | No Special Requirements |
| Systems | |
| Mechanical | No Requirements |
| Plumbing | Exterior hose bib |
| Lighting | Area lighting required |
| Power | Exterior outlets with child proof covers |
| Communications | |
| Data | No Requirements |
| Telecom | No Requirements |
| Video | No Requirements |
| Acoustics | Built in sound system with indoor and outdoor speakers |

| Room Contents Group I Built-ins | No Requirements |
|---|-------------------------------|
| Group II Movable-Equip. Furnishings | Barbecue Tables and chairs |

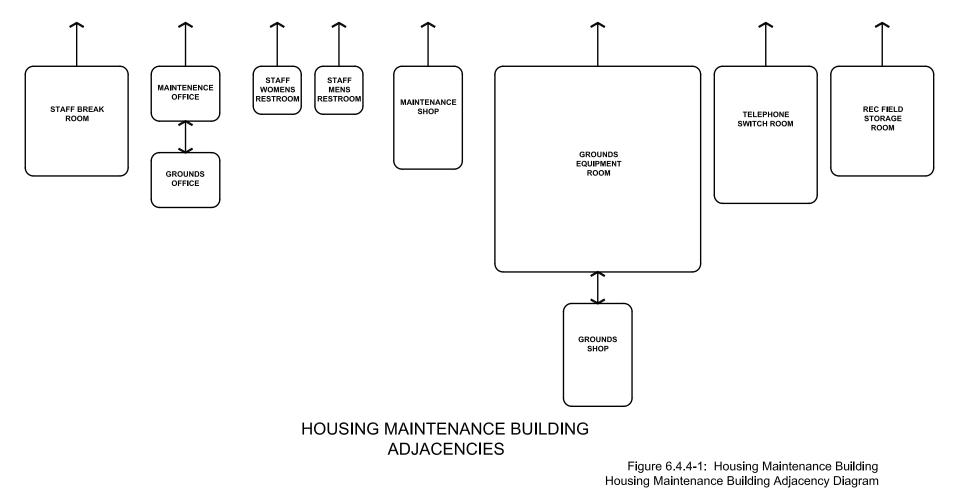
DPP November 2003

6.4.4 General Facility Shared Facilities: Housing Maintenance Building

| Quantity One ASF 3,000 Number of Full Time: Occupants Part time: Adjacency Requirements Rec. Fields, Community Activities, Car + Bike Parking, Trash + Recycling, Housing Units Activities Storage of equipment for IM sports (football, softball, soccer) and a cart. Days of use Weekdays: 5 Weekends: 2 Hours of use 5 pm – 12 am Monday – Friday 8 am – 12 am Saturday - Sunday (verify) Ceiling Height See Individual Room Data Sheets Floor See Individual Room Data Sheets Base See Individual Room Data Sheets Valls See Individual Room Data Sheets Valls See Individual Room Data Sheets Sightlines No Special Requirements Doors Roll up garage door, single doors, double doors Windows All windows should have safety glazing. Provide dual glazing at all areas where thermal and acoustic control is required. All east, south and west exposures should be durable and low maintenance. Preferably sliding. Not recessed. Storage See Individual Room Data Sheets Signage Building and entry identification, way finding, accessibility and code signage should be provided. Storage | - | | |
|--|------------------------|--|--|
| ASF 3,000 Number of Occupants Part time: Part time: Adjacency Requirements Rec. Fields, Community Activities, Car + Bike Parking, Trash + Recycling, Housing Units Activities Storage of equipment for IM sports (football, softball, soccer) and a cart. Days of use Weekdays: 5 Weekends: 2 Hours of use 5 pm - 12 am Monday - Friday 8 am - 12 am Saturday - Sunday (verify) Ceiling Height See Individual Room Data Sheets Floor See Individual Room Data Sheets Base See Individual Room Data Sheets Valls See Individual Room Data Sheets Sightlines No Special Requirements Dors Roll up garage door, single doors, double doors Windows All windows should have safety glazing. Provide dual glazing at all areas where thermal and acoustic control is required. All east, south and west exposures should be provided with passive solar shading devises. Frames should be durable and low maintenance. Preferably sliding. Not recessed. Storage See Individual Room Data Sheets Signage Suiding and entry identification, way finding, accessibility and code signage should be provided. Parking, entry, accessibility and control signage to be provided. Security Access for staff only. Surveillance capabilities. Fencing | Description | General Maintenance Facility | |
| Number of Occupants Full Time: Part time: Adjacency Requirements Rec. Fields, Community Activities, Car + Bike Parking, Trash + Recycling, Housing Units Activities Storage of equipment for IM sports (football, softball, soccer) and a cart. Days of use Weekdays: 5 Weekends: 2 Hours of use 5 pm – 12 am Monday – Friday 8 am – 12 am Saturday - Sunday (verify) Ceiling Height See Individual Room Data Sheets Floor See Individual Room Data Sheets Base See Individual Room Data Sheets Valls See Individual Room Data Sheets Sightlines No Special Requirements Doors Roll up garage door, single doors, double doors Windows All windows should have safety glazing. Provide dual glazing at all areas where thermal and acoustic control is required. All east, south and west exposures should be provided with passive solar shading devises. Frames should be durable and low maintenance. Preferably sliding. Not recessed. Storage See Individual Room Data Sheets Signage Building and entry identification, way finding, accessibility and code signage to be provided. Security Access for staff only. Surveillance capabilities. Fencing | | | |
| Occupants Part time: Adjacency Requirements Rec. Fields, Community Activities, Car + Bike Parking, Trash + Recycling, Housing Units Activities Storage of equipment for IM sports (football, softball, soccer) and a cart. Days of use Weekdays: 5 Weekends: 2 Hours of use 5 pm - 12 am Monday - Friday 8 am - 12 am Saturday - Sunday (verify) Ceiling Height See Individual Room Data Sheets Finishes See Individual Room Data Sheets Valls See Individual Room Data Sheets Base See Individual Room Data Sheets Sightlines No Special Requirements Doors Roll up garage door, single doors, double doors Windows All windows should have safety glazing. Provide dual glazing at all areas where thermal and acoustic control is required. All east, south and west exposures should be provided with passive solar shading devises. Frames should be durable and low maintenance. Preferably sliding. Not recessed. Storage See Individual Room Data Sheets Signage Building and entry identification, way finding, accessibility and code signage should be provided. Security Access for staff only. Surveillance capabilities. Fencing | ASF | 3,000 | |
| Adjacency Requirements Rec. Fields, Community Activities, Car + Bike Parking, Trash + Recycling, Housing Units Activities Storage of equipment for IM sports (football, softball, soccer) and a cart. Days of use Weekdays: 5 Weekends: 2 Weekends: 2 Hours of use 5 pm – 12 am Monday – Friday 8 am – 12 am Saturday - Sunday (verify) Ceiling Height See Individual Room Data Sheets Finishes Floor See Individual Room Data Sheets Base See Individual Room Data Sheets Ceiling See Individual Room Data Sheets Base See Individual Room Data Sheets Sightlines No Special Requirements Doors Roll up garage door, single doors, double doors Windows All windows should have safety glazing. Provide dual glazing at all areas where thermal and acoustic control is required. All east, south and west exposures should be provided with passive solar shading devises. Frames should be durable and low maintenance. Preferably sliding. Not recessed. Storage See Individual Room Data Sheets Signage Building and entry identification, way finding, accessibility and code signage should be provided. Provide dual glazing at all areas where thermal and acoustic control is required. Storage See Individual Room Data Sheets See Individual Room Data S | Number of | Full Time: | |
| Recycling, Housing Units Activities Storage of equipment for IM sports (football, softball, soccer) and a cart. Days of use Weekdays: 5 Weekends: 2 Hours of use 5 pm – 12 am Monday – Friday 8 am – 12 am Saturday - Sunday (verify) Ceiling Height See Individual Room Data Sheets Finishes Floor See Individual Room Data Sheets Base See Individual Room Data Sheets See Individual Room Data Sheets Sightlines No Special Requirements Doors Roll up garage door, single doors, double doors Windows All windows should have safety glazing. Provide dual glazing at all areas where thermal and acoustic control is required. All east, south and west exposures should be provided with passive solar shading devises. Frames should be provided with passive solar shading devises. Frames should be provided with passive solar shading devises for staff only. Surveillance capabilities and control signage to be provided. Storage See Individual Room Data Sheets Storage Storage See Individual Room Data Sheets Storage See Individual Room Data Sheets Signage Building and entry identification, way finding, accessibility and code signage should be provided. Security Access for staff only. Surveillance capabilities. Fencing | Occupants | Part time: | |
| Activities Storage of equipment for IM sports (football, softball, soccer) and a cart. Days of use Weekdays: 5 Weekends: 2 Hours of use 5 pm – 12 am Monday – Friday 8 am – 12 am Saturday - Sunday (verify) Ceiling Height See Individual Room Data Sheets Finishes Floor See Individual Room Data Sheets See Individual Room Data Sheets Base See Individual Room Data Sheets Ceiling See Individual Room Data Sheets Sightlines No Special Requirements Doors Roll up garage door, single doors, double doors Windows All windows should have safety glazing. Provide dual glazing at all areas where thermal and acoustic control is required. All east, south and west exposures should be provided with passive solar shading devises. Frames should be dormable and low maintenance. Preferably sliding. Not recessed. Storage See Individual Room Data Sheets Signage Building and entry identification, way finding, accessibility and code signage should be provided. Storage See Individual Room Data Sheets Storage See Individual Room Data Sheets Signage Building and entry identification, way finding, accessibility and code signage should be provided. Storage See Individual Room Data Sheets Signage <th>Adjacency Requirements</th> <th></th> | Adjacency Requirements | | |
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| Days of use Weekdays: 5 Weekends: 2 Hours of use 5 pm – 12 am Monday – Friday 8 am – 12 am Saturday - Sunday (verify) Ceiling Height See Individual Room Data Sheets Finishes Floor Floor See Individual Room Data Sheets Base See Individual Room Data Sheets Walls See Individual Room Data Sheets Ceiling See Individual Room Data Sheets Walls See Individual Room Data Sheets Ceiling See Individual Room Data Sheets Sightlines No Special Requirements Doors Roll up garage door, single doors, double doors Windows All windows should have safety glazing. Provide dual glazing at all areas where thermal and acoustic control is required. All east, south and west exposures should be provided with passive solar shading devises. Frames should be durable and low maintenance. Preferably sliding. Not recessed. Storage See Individual Room Data Sheets Signage Building and entry identification, way finding, accessibility and code signage should be provided. Security Access for staff only. Surveillance capabilities. Fencing | Activities | Storage of equipment for IM sports (football, softball, soccer) and a | |
| Weekends: 2 Hours of use 5 pm – 12 am Monday – Friday 8 am – 12 am Saturday - Sunday (verify) Ceiling Height See Individual Room Data Sheets Finishes Floor See Individual Room Data Sheets Base See Individual Room Data Sheets Walls See Individual Room Data Sheets Ceiling See Individual Room Data Sheets Walls See Individual Room Data Sheets Ceiling See Individual Room Data Sheets Sightlines No Special Requirements Doors Roll up garage door, single doors, double doors Windows All windows should have safety glazing. Provide dual glazing at all areas where thermal and acoustic control is required. All east, south and west exposures should be provided with passive solar shading devises. Frames should be durable and low maintenance. Preferably sliding. Not recessed. Storage See Individual Room Data Sheets Signage Building and entry identification, way finding, accessibility and code signage should be provided. See to be provided. Serveilance capabilities. Fencing | | cart. | |
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| Ceiling Height See Individual Room Data Sheets Finishes Floor See Individual Room Data Sheets Base See Individual Room Data Sheets Base See Individual Room Data Sheets Walls See Individual Room Data Sheets Ceiling See Individual Room Data Sheets Ceiling See Individual Room Data Sheets Sightlines No Special Requirements Doors Roll up garage door, single doors, double doors Windows All windows should have safety glazing. Provide dual glazing at all areas where thermal and acoustic control is required. All east, south and west exposures should be provided with passive solar shading devises. Frames shoul be durable and low maintenance. Preferably sliding. Not recessed. Storage See Individual Room Data Sheets Signage Building and entry identification, way finding, accessibility and code signage should be provided. Security Access for staff only. Surveillance capabilities. Fencing | Hours of use | 5 pm – 12 am Monday – Friday | |
| Ceiling Height See Individual Room Data Sheets Finishes Floor See Individual Room Data Sheets Base See Individual Room Data Sheets Base See Individual Room Data Sheets Walls See Individual Room Data Sheets Ceiling See Individual Room Data Sheets Ceiling See Individual Room Data Sheets Sightlines No Special Requirements Doors Roll up garage door, single doors, double doors Windows All windows should have safety glazing. Provide dual glazing at all areas where thermal and acoustic control is required. All east, south and west exposures should be provided with passive solar shading devises. Frames shoul be durable and low maintenance. Preferably sliding. Not recessed. Storage See Individual Room Data Sheets Signage Building and entry identification, way finding, accessibility and code signage should be provided. Security Access for staff only. Surveillance capabilities. Fencing | | 8 am – 12 am Saturday - Sunday (verify) | |
| Finishes Floor See Individual Room Data Sheets Base See Individual Room Data Sheets Walls See Individual Room Data Sheets Ceiling See Individual Room Data Sheets Ceiling See Individual Room Data Sheets Sightlines No Special Requirements Doors Roll up garage door, single doors, double doors Windows All windows should have safety glazing. Provide dual glazing at all areas where thermal and acoustic control is required. All east, south and west exposures should be provided with passive solar shading devises. Frames should be durable and low maintenance. Preferably sliding. Not recessed. Storage See Individual Room Data Sheets Signage Building and entry identification, way finding, accessibility and code signage should be provided. Security Access for staff only. Surveillance capabilities. Fencing | Ceiling Height | | |
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| Walls See Individual Room Data Sheets Ceiling See Individual Room Data Sheets Sightlines No Special Requirements Doors Roll up garage door, single doors, double doors Windows All windows should have safety glazing. Provide dual glazing at all areas where thermal and acoustic control is required. All east, south and west exposures should be provided with passive solar shading devises. Frames should be durable and low maintenance. Preferably sliding. Not recessed. Storage See Individual Room Data Sheets Signage Building and entry identification, way finding, accessibility and code signage should be provided. Security Access for staff only. Surveillance capabilities. Fencing | Floor | See Individual Room Data Sheets | |
| Ceiling See Individual Room Data Sheets Sightlines No Special Requirements Doors Roll up garage door, single doors, double doors Windows All windows should have safety glazing. Provide dual glazing at all areas where thermal and acoustic control is required. All east, south and west exposures should be provided with passive solar shading devises. Frames should be durable and low maintenance. Preferably sliding. Not recessed. Storage See Individual Room Data Sheets Signage Building and entry identification, way finding, accessibility and code signage should be provided. Security Access for staff only. Surveillance capabilities. Fencing | Base | See Individual Room Data Sheets | |
| Sightlines No Special Requirements Doors Roll up garage door, single doors, double doors Windows All windows should have safety glazing. Provide dual glazing at all areas where thermal and acoustic control is required. All east, south and west exposures should be provided with passive solar shading devises. Frames should be durable and low maintenance. Preferably sliding. Not recessed. Storage See Individual Room Data Sheets Signage Building and entry identification, way finding, accessibility and code signage should be provided. Security Access for staff only. Surveillance capabilities. Fencing | Walls | See Individual Room Data Sheets | |
| Doors Roll up garage door, single doors, double doors Windows All windows should have safety glazing. Provide dual glazing at all areas where thermal and acoustic control is required. All east, south and west exposures should be provided with passive solar shading devises. Frames should be durable and low maintenance. Preferably sliding. Not recessed. Storage See Individual Room Data Sheets Signage Building and entry identification, way finding, accessibility and code signage should be provided. Security Access for staff only. Surveillance capabilities. Fencing | Ceiling | See Individual Room Data Sheets | |
| Windows All windows should have safety glazing. Provide dual glazing at all areas where thermal and acoustic control is required. All east, south and west exposures should be provided with passive solar shading devises. Frames should be durable and low maintenance. Preferably sliding. Not recessed. Storage See Individual Room Data Sheets Signage Building and entry identification, way finding, accessibility and code signage to be provided. Security Access for staff only. Surveillance capabilities. Fencing | Sightlines | No Special Requirements | |
| areas where thermal and acoustic control is required. All east, south and west exposures should be provided with passive solar shading devises. Frames should be durable and low maintenance. Preferably sliding. Not recessed. Storage See Individual Room Data Sheets Signage Building and entry identification, way finding, accessibility and code signage should be provided. Security Access for staff only. Surveillance capabilities. Fencing | Doors | Roll up garage door, single doors, double doors | |
| areas where thermal and acoustic control is required. All east, south and west exposures should be provided with passive solar shading devises. Frames should be durable and low maintenance. Preferably sliding. Not recessed. Storage See Individual Room Data Sheets Signage Building and entry identification, way finding, accessibility and code signage should be provided. Parking, entry, accessibility and control signage to be provided. Security Access for staff only. Surveillance capabilities. Fencing | Windows | All windows should have safety glazing. Provide dual glazing at all | |
| devises. Frames should be durable and low maintenance. Preferably sliding. Not recessed. Storage See Individual Room Data Sheets Signage Building and entry identification, way finding, accessibility and code signage should be provided. Parking, entry, accessibility and control signage to be provided. Security Access for staff only. Surveillance capabilities. Fencing | | | |
| sliding. Not recessed. Storage See Individual Room Data Sheets Signage Building and entry identification, way finding, accessibility and code signage should be provided. Parking, entry, accessibility and control signage to be provided. Security Access for staff only. Surveillance capabilities. Fencing | | and west exposures should be provided with passive solar shading | |
| Storage See Individual Room Data Sheets Signage Building and entry identification, way finding, accessibility and code signage should be provided. Parking, entry, accessibility and control signage to be provided. Security Access for staff only. Surveillance capabilities. Fencing | | devises. Frames should be durable and low maintenance. Preferably | |
| Signage Building and entry identification, way finding, accessibility and code signage should be provided. Parking, entry, accessibility and control signage to be provided. Security Access for staff only. Surveillance capabilities. Fencing | | sliding. Not recessed. | |
| signage should be provided. Parking, entry, accessibility and control signage to be provided. Security Access for staff only. Surveillance capabilities. Fencing | Storage | See Individual Room Data Sheets | |
| signage to be provided. Security Access for staff only. Surveillance capabilities. Fencing | Signage | Building and entry identification, way finding, accessibility and code | |
| signage to be provided. Security Access for staff only. Surveillance capabilities. Fencing | | signage should be provided. Parking, entry, accessibility and control | |
| | | | |
| | Security | | |
| | - | | |
| requirements? (UCR to verify) Special Requirements Roll up garage door for Rec. Field cart | Special Requirements | Roll up garage door for Rec. Field cart | |
| Future Considerations No Special Requirements | | | |

| 0 | |
|----------------|--|
| Systems | |
| Mechanical | Ventilation air system only. |
| Plumbing | Provide exterior hose bibs for washing any equipment. Air compressor. |
| Lighting | Exterior: Flood lighting at all exterior building and yard areas. Interior: Surface or recess fluorescent fixtures with multiple switching as required. See Individual Room Data Sheets |
| Power | 110 volt outlets |
| Communications | |
| Data | Yes, See Individual Room Data Sheets |
| Telecom | Yes, See Individual Room Data Sheets |
| Video | CATV, See security requirements |
| Acoustics | No Special Requirements |
| Room Contents | |
| Group I | |
| Built-ins | See Individual Room Data Sheets |
| Group II | |
| Movable-Equip. | See Individual Room Data Sheets |
| Furnishings | See Individual Room Data Sheets |

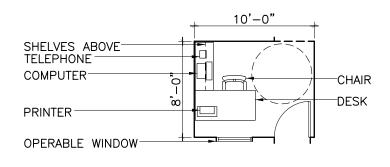




6.4.4.1 Maintenance/Grounds Offices Shared Facilities: Housing Maintenance Building

| December | |
|------------------------|--|
| Description | Offices |
| Quantity | Two |
| ASF | 80 each |
| Number of | Full Time: 1 |
| Occupants | Part time: |
| Adjacency Requirements | Grounds/Maintenance Office, Outdoors |
| Activities | Office work |
| Days of use | Weekdays: 5 |
| | Weekends: 2 |
| Hours of use | 5 pm – 12 am Monday – Friday |
| | 8 am – 12 am Saturday - Sunday <i>(verify)</i> |
| Ceiling Height | 8' min. |
| Finishes | |
| Floor | Carpet |
| Base | 4" Resilient Cove Base |
| Walls | Washable Painted Gypsum Board |
| Ceiling | Acoustic Tile |
| Sightlines | No Special Requirements |
| Doors | Single door |
| Windows | See General Facility Data |
| Storage | Shelves |
| Signage | See General Facility Data |
| Security | See General Facility Data |
| Special Requirements | No Special Requirements |
| Future Considerations | No Special Requirements |
| Systems | |
| Mechanical | See General Facility Data |
| Plumbing | No Requirements |
| Lighting | See General Facility Data |
| Power | See General Facility Data |
| Communications | |
| Data | Data ports (2 locations) |
| Telecom | Telecom / PA |
| Video | See security requirements |
| Acoustics | No Special Requirements |

| Room Contents Group I | | |
|--------------------------|------------------------------|--|
| Built-ins Group II | No Requirements | |
| Movable-Equip. | Computer, telephone, printer | |
| Furnishings | System furniture, chair | |





MAINTENANCE / GROUNDS OFFICE 80 ASF

ADJACENCY: MAINTENANCE/GROUNDS OFFICE, OUTDOORS

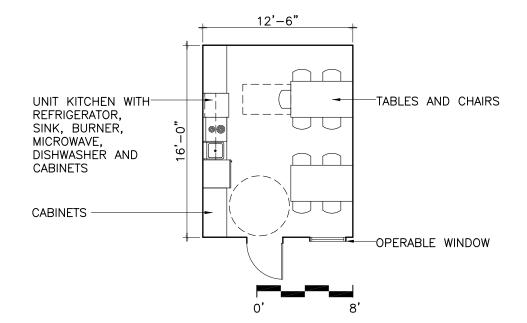
Figure 6.4.4.1-1: Housing Maintenance Building Maintenance / Grounds Office Room Diagram

6.4.4.2 Staff Break Room

Shared Facilities: Housing Maintenance Building

| Quantity One ASF 200 Number of Full Time: Occupants Part time: Adjacency Requirements Outdoors Activities Staff's lunch and break area, including food preparation. Days of use Weekdays: 5 Weekends: 2 Weekends: 2 Hours of use 5 pm - 12 am Monday - Friday 8 am - 12 am Saturday - Sunday (verify) Ceiling Height 8' min. Finishes Floor Floor Carpet Base 4" Resilient Cove Base Walls Washable Painted Gypsum Board Ceiling Washable Painted Gypsum Board Sightlines No Special Requirements Doors Single door Windows See General Facility Data Storage Cabinets above / below countertop for limited kitchen utensils Signage See General Facility Data Special Requirements No Special Re | Description | |
|---|-----------------------|--|
| ASF 200 Number of Occupants Part time: Adjacency Requirements Outdoors Activities Staff's lunch and break area, including food preparation. Days of use Weekdays: 5 Weekdays: 5 Hours of use 5 pm – 12 am Monday – Friday 8 am – 12 am Saturday - Sunday (verify) Ceiling Height 8' min. Floor Carpet Base Valls Washable Painted Gypsum Board Ceiling Washable Painted Gypsum Board Ceiling Washable Painted Gypsum Board Ceiling Washable Painted Gypsum Board Sightlines No Special Requirements Doors Single door Windows See General Facility Data Storage Cabinets above / below countertop for limited kitchen utensils Signage See General Facility Data Special Requirements No Special Requirements Mochanical See General Facility Data Systems Mechanical Mechanical See General Facility Data Power See G | Description | Staff Break Room with Kitchenette |
| Number of Occupants Full Time: Part time: Adjacency Requirements Outdoors Activities Staff's lunch and break area, including food preparation. Days of use Weekdays: 5 Weekends: 2 Hours of use 5 pm - 12 am Monday – Friday 8 am - 12 am Saturday - Sunday (verify) Ceiling Height 8' min. Finishes Filoor Floor Carpet Base Base 4' Resilient Cove Base Walls Washable Painted Gypsum Board Ceiling Washable Painted Gypsum Board Ceiling Washable Painted Gypsum Board Sightlines No Special Requirements Doors Single door Windows See General Facility Data Storage Cabinets above / below countertop for limited kitchen utensils Signage See General Facility Data Special Requirements No Special Requirements Future Considerations No Special Requirements Mechanical See General Facility Data Plumbing As required for Unit Kitchen. Lighting See General Facility Data Power See General Facility Data Powe | | |
| Occupants Part time: Adjacency Requirements Outdoors Activities Staff's lunch and break area, including food preparation. Days of use Weekdays: 5 Weekdays: 5 Weekends: 2 Hours of use 5 pm – 12 am Monday – Friday 8 am – 12 am Saturday - Sunday (verify) Ceiling Height 8' min. Finishes Carpet Base 4" Resilient Cove Base Walls Washable Painted Gypsum Board Ceiling Sightlines No Special Requirements Doors Single door Windows See General Facility Data Storage Cabinets above / below countertop for limited kitchen utensils Signage See General Facility Data Special Requirements No Special Requirements Mouss See General Facility Data Special Requirements No Special Requirements Mos Special Requirements No Special Requirements Mount Considerations No Special Requirements Systems Mechanical See General Facility Data Power See General Facility Data Data Power See General Facility Data Data ports (2 locations) | | |
| Adjacency Requirements Outdoors Activities Staff's lunch and break area, including food preparation. Days of use Weekdays: 5 Weekends: 2 Hours of use 5 pm – 12 am Monday – Friday 8 am – 12 am Saturday - Sunday (verify) Ceiling Height 8' min. Finishes Floor Floor Carpet Base 4'' Resilient Cove Base Walls Washable Painted Gypsum Board Ceiling Washable Painted Gypsum Board Ceiling Washable Painted Gypsum Board Ceiling Washable Painted Gypsum Board Sightlines No Special Requirements Doors Single door Windows See General Facility Data Storage Cabinets above / below countertop for limited kitchen utensils Signage See General Facility Data Special Requirements No Special Requirements No Special Requirements No Special Requirements Systems Mechanical See General Facility Data Power See General Facility Data Power Power See General Facility Data Power See General Facility Data </th <th></th> <th></th> | | |
| Activities Staff's lunch and break area, including food preparation. Days of use Weekdays: 5 Weekends: 2 Hours of use 5 pm – 12 am Monday – Friday & am – 12 am Saturday - Sunday (verify) Ceiling Height 8' min. Finishes Carpet Base 4" Resilient Cove Base Walls Washable Painted Gypsum Board Ceiling Valls Washable Painted Gypsum Board Storage Cainet Activity Data Storage Cabinets above / below countertop for limited kitchen utensils Storage Storage Cabinets above / below countertop for limited kitchen utensils Signage See General Facility Data Special Requirements No Special Requirements Systems Mechanical See General Facility Data Plumbing As required for Unit Kitchen. Lighting See General Facility Data Power See General Facility Data See General Facility Data Dota Data Data ports (2 locations) Telecom Telecom / PA Video CATV | | |
| Days of use Weekdays: 5 Weekends: 2 Hours of use 5 pm – 12 am Monday – Friday 8 am – 12 am Saturday - Sunday (verify) Ceiling Height 8' min. Finishes Floor Carpet Base Base 4'' Resilient Cove Base Walls Washable Painted Gypsum Board Ceiling Washable Painted Gypsum Board Ceiling Washable Painted Gypsum Board Ceiling Washable Painted Gypsum Board Sightlines No Special Requirements Doors Single door Windows See General Facility Data Storage Cabinets above / below countertop for limited kitchen utensils Signage See General Facility Data Special Requirements No Special Requirements Future Considerations No Special Requirements Systems Mechanical See General Facility Data Plumbing As required for Unit Kitchen. Lighting Lighting See General Facility Data Power See General Facility Data Power See General Facility Data Power See General Facility Data Powe | ······ A | |
| Weekends: 2 Hours of use 5 pm – 12 am Monday – Friday 8 am – 12 am Saturday - Sunday (verify) Ceiling Height 8' min. Finishes 6' min. Floor Carpet Base 4" Resilient Cove Base Walls Washable Painted Gypsum Board Ceiling Washable Painted Gypsum Board Sightlines No Special Requirements Doors Single door Windows See General Facility Data Storage Cabinets above / below countertop for limited kitchen utensils Signage See General Facility Data Special Requirements No Special Requirements Future Considerations No Special Requirements Systems Mechanical See General Facility Data Power See General Facility Data Power Power See General Facility Data Power Power See General Facility Data Power D | | |
| Hours of use 5 pm – 12 am Monday – Friday 8 am – 12 am Saturday - Sunday (verify) Ceiling Height 8' min. Finishes Floor Carpet Base Base 4" Resilient Cove Base Walls Washable Painted Gypsum Board Ceiling Washable Painted Gypsum Board Ceiling Washable Painted Gypsum Board Ceiling Washable Painted Gypsum Board Sightlines No Special Requirements Doors Single door Windows See General Facility Data Storage Cabinets above / below countertop for limited kitchen utensils Signage See General Facility Data Special Requirements No Special Requirements Future Considerations No Special Requirements Systems Mechanical See General Facility Data Power See General Facility Data Power Power See General Facility Data Power S | Days of use | |
| 8 am – 12 am Saturday - Sunday (verify) Ceiling Height 8' min. Finishes Floor Carpet Base Base 4" Resilient Cove Base Walls Washable Painted Gypsum Board Ceiling Washable Painted Gypsum Board Ceiling Washable Painted Gypsum Board Ceiling Washable Painted Gypsum Board Sightlines No Special Requirements Doors Single door Windows See General Facility Data Storage Cabinets above / below countertop for limited kitchen utensils Signage See General Facility Data Security See General Facility Data Special Requirements No Special Requirements Future Considerations No Special Requirements Systems Mechanical See General Facility Data Plumbing As required for Unit Kitchen. Lighting Lighting See General Facility Data Power Power See General Facility Data Power Power See General Facility Data Power Data Data ports (2 locations) Telecom <th></th> <th></th> | | |
| Ceiling Height 8' min. Finishes Floor Carpet Base Base 4" Resilient Cove Base Walls Washable Painted Gypsum Board Ceiling Washable Painted Gypsum Board Ceiling Washable Painted Gypsum Board Sightlines No Special Requirements Doors Single door Windows See General Facility Data Storage Cabinets above / below countertop for limited kitchen utensils Signage See General Facility Data Security See General Facility Data Special Requirements No Special Requirements Future Considerations No Special Requirements Systems Mechanical See General Facility Data Plumbing As required for Unit Kitchen. Lighting Lighting See General Facility Data Power See General Facility Data Data Data ports (2 locations) | Hours of use | |
| Finishes Floor Carpet Base 4" Resilient Cove Base Walls Washable Painted Gypsum Board Ceiling Washable Painted Gypsum Board Ceiling Washable Painted Gypsum Board Sightlines No Special Requirements Doors Single door Windows See General Facility Data Storage Cabinets above / below countertop for limited kitchen utensils Signage See General Facility Data Security See General Facility Data Special Requirements No Special Requirements Future Considerations No Special Requirements Systems Mechanical See General Facility Data Power See General Facility Data Power Power See General Facility Data Data Data ports (2 locations) Telecom Telecom / PA Video < | | 8 am – 12 am Saturday - Sunday <i>(verify)</i> |
| Floor Carpet Base 4" Resilient Cove Base Walls Washable Painted Gypsum Board Ceiling Washable Painted Gypsum Board Sightlines No Special Requirements Doors Single door Windows See General Facility Data Storage Cabinets above / below countertop for limited kitchen utensils Signage See General Facility Data Security See General Facility Data Special Requirements No Special Requirements Future Considerations No Special Requirements Systems See General Facility Data Plumbing As required for Unit Kitchen. Lighting See General Facility Data Power See General Facility Data Data Data ports (2 locations) Telecom | Ceiling Height | 8' min. |
| Base 4" Resilient Cove Base Walls Washable Painted Gypsum Board Ceiling Washable Painted Gypsum Board Sightlines No Special Requirements Doors Single door Windows See General Facility Data Storage Cabinets above / below countertop for limited kitchen utensils Signage See General Facility Data Security See General Facility Data Special Requirements No Special Requirements Future Considerations No Special Requirements Systems Mechanical Plumbing As required for Unit Kitchen. Lighting See General Facility Data Power See General Facility Data Data Data ports (2 locations) Telecom Telecom / PA Video CATV | Finishes | |
| Walls Washable Painted Gypsum Board Ceiling Washable Painted Gypsum Board Sightlines No Special Requirements Doors Single door Windows See General Facility Data Storage Cabinets above / below countertop for limited kitchen utensils Signage See General Facility Data Security See General Facility Data Special Requirements No Special Requirements Future Considerations No Special Requirements Systems Mechanical Plumbing As required for Unit Kitchen. Lighting See General Facility Data Power See General Facility Data Data Data ports (2 locations) Telecom Telecom / PA Video CATV | Floor | Carpet |
| Ceiling Washable Painted Gypsum Board Sightlines No Special Requirements Doors Single door Windows See General Facility Data Storage Cabinets above / below countertop for limited kitchen utensils Signage See General Facility Data Security See General Facility Data Special Requirements No Special Requirements Future Considerations No Special Requirements Systems Mechanical See General Facility Data Plumbing As required for Unit Kitchen. Lighting See General Facility Data Power See General Facility Data Data Data ports (2 locations) Telecom Data Data ports (2 locations) Telecom Telecom / PA Video CATV | Base | |
| Sightlines No Special Requirements Doors Single door Windows See General Facility Data Storage Cabinets above / below countertop for limited kitchen utensils Signage See General Facility Data Security See General Facility Data Special Requirements No Special Requirements Future Considerations No Special Requirements Systems Mechanical Plumbing As required for Unit Kitchen. Lighting See General Facility Data Power See General Facility Data Dows See General Facility Data Plumbing As required for Unit Kitchen. Lighting See General Facility Data Power See General Facility Data Dota Data ports (2 locations) Telecom Telecom / PA Video CATV | Walls | |
| Doors Single door Windows See General Facility Data Storage Cabinets above / below countertop for limited kitchen utensils Signage See General Facility Data Security See General Facility Data Special Requirements No Special Requirements Future Considerations No Special Requirements Systems Mechanical Plumbing As required for Unit Kitchen. Lighting See General Facility Data Power See General Facility Data Communications Data ports (2 locations) Telecom Telecom / PA Video CATV | | Washable Painted Gypsum Board |
| Windows See General Facility Data Storage Cabinets above / below countertop for limited kitchen utensils Signage See General Facility Data Security See General Facility Data Special Requirements No Special Requirements Future Considerations No Special Requirements Systems Mechanical See General Facility Data Plumbing As required for Unit Kitchen. Lighting See General Facility Data Power See General Facility Data Data Data ports (2 locations) Telecom Telecom / PA Other CATV | | *************************************** |
| Storage Cabinets above / below countertop for limited kitchen utensils Signage See General Facility Data Security See General Facility Data Special Requirements No Special Requirements Future Considerations No Special Requirements Systems Mechanical See General Facility Data Plumbing As required for Unit Kitchen. Lighting See General Facility Data Power See General Facility Data Data Data ports (2 locations) Telecom Telecom / PA Other CATV | Doors | Single door |
| Signage See General Facility Data Security See General Facility Data Special Requirements No Special Requirements Future Considerations No Special Requirements Systems Mechanical See General Facility Data Plumbing As required for Unit Kitchen. Lighting See General Facility Data Power See General Facility Data Data Data ports (2 locations) Telecom Telecom / PA Video CATV | Windows | |
| See General Facility Data Special Requirements No Special Requirements Future Considerations No Special Requirements Systems Mechanical See General Facility Data Plumbing As required for Unit Kitchen. Lighting See General Facility Data Power See General Facility Data Data Data ports (2 locations) Telecom Telecom / PA Video CATV CATV Data Data Data Data Data CATV | Storage | $\tilde{\epsilon}$ |
| See General Facility Data Special Requirements No Special Requirements Future Considerations No Special Requirements Systems Mechanical See General Facility Data Plumbing As required for Unit Kitchen. Lighting See General Facility Data Power See General Facility Data Data Data ports (2 locations) Telecom Telecom / PA Video CATV CATV Data Data Data Data Data CATV | Signage | See General Facility Data |
| Future Considerations No Special Requirements Systems Mechanical See General Facility Data Plumbing As required for Unit Kitchen. Lighting Lighting See General Facility Data Power See General Facility Data Communications Data ports (2 locations) Telecom Telecom / PA Video CATV | Security | See General Facility Data |
| Systems Mechanical See General Facility Data Plumbing As required for Unit Kitchen. Lighting See General Facility Data Power See General Facility Data Communications Data ports (2 locations) Telecom Telecom / PA Video CATV | Special Requirements | No Special Requirements |
| Mechanical See General Facility Data Plumbing As required for Unit Kitchen. Lighting See General Facility Data Power See General Facility Data Communications Data ports (2 locations) Telecom Telecom / PA Video CATV | Future Considerations | No Special Requirements |
| Plumbing As required for Unit Kitchen. Lighting See General Facility Data Power See General Facility Data Communications Data ports (2 locations) Telecom Telecom / PA Video CATV | Systems | |
| Lighting See General Facility Data Power See General Facility Data Communications Data Data Data ports (2 locations) Telecom Telecom / PA Video CATV | Mechanical | See General Facility Data |
| Power See General Facility Data Communications Data Data Data ports (2 locations) Telecom Telecom / PA Video CATV | Plumbing | |
| Communications Data Data ports (2 locations) Telecom Telecom / PA Video CATV | Lighting | See General Facility Data |
| DataData ports (2 locations)TelecomTelecom / PAVideoCATV | | See General Facility Data |
| Telecom Telecom / PA Video CATV | Communications | |
| Video CATV | | |
| | Telecom | |
| Acoustics No Special Requirements | Video | CATV |
| | Acoustics | No Special Requirements |

| Room Contents Group I Built-ins Group II | No Requirements |
|---|--|
| Movable-Equip. | Unit Kitchen with refrigerator, sink, burner, microwave, dishwasher and cabinets |
| Furnishings | Tables and chairs See Room Diagram |



STAFF BREAK ROOM 200 ASF ADJACENCY: OUTDOORS

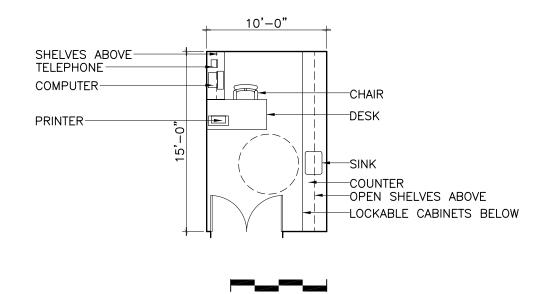
Figure 6.4.4.2-1: Housing Maintenance Building Staff Break Room Diagram

UCR WEST CAMPUS FAMILY STUDENT HOUSING DETAILED PROJECT PROGRAM

6.4.4.3 Maintenance/Grounds Shops Shared Facilities: Housing Maintenance Building

| Description | Maintenance and Grounds Shop |
|------------------------|---|
| Quantity | Two |
| ASF | 150 each |
| Number of | Full Time: |
| Occupants | Part time: |
| Adjacency Requirements | Grounds Equipment Room, Outdoors |
| Activities | |
| Days of use | Weekdays: 5 |
| | Weekends: 2 |
| Hours of use | 5 pm – 12 am Monday – Friday |
| | 8 am – 12 am Saturday - Sunday (verify) |
| Ceiling Height | 8' min. |
| Finishes | *************************************** |
| Floor | Sealed Concrete |
| Base | 4" Resilient Cove Base |
| Walls | Washable Painted Gypsum Board |
| Ceiling | Washable Painted Gypsum Board |
| Sightlines | No Special Requirements |
| Doors | Double doors. |
| Windows | See General Facility Data |
| Storage | Shelves and lockable cabinets |
| Signage | See General Facility Data |
| Security | See General Facility Data |
| Special Requirements | No Special Requirements |
| Future Considerations | No Special Requirements |
| Systems | |
| Mechanical | See General Facility Data |
| Plumbing | Sink |
| Lighting | See General Facility Data |
| Power | (2) 4-plexes at counter height |
| Communications | |
| Data | Data ports (2 locations) |
| Telecom | Telecom / PA |
| Video | No Requirements |
| Acoustics | No Special Requirements |

| Room Contents Group I Built-ins | Counter, See Storage Section | |
|---------------------------------------|------------------------------|--|
| Group II | | |
| Movable-Equip. | Computer, telephone, printer | |
| Furnishings | System furniture, chair | |



8

MAINTENANCE / GROUNDS SHOP

0'

150 ASF ADJACENCY: GROUNDS EQUIPMENT ROOM, OUTDOORS

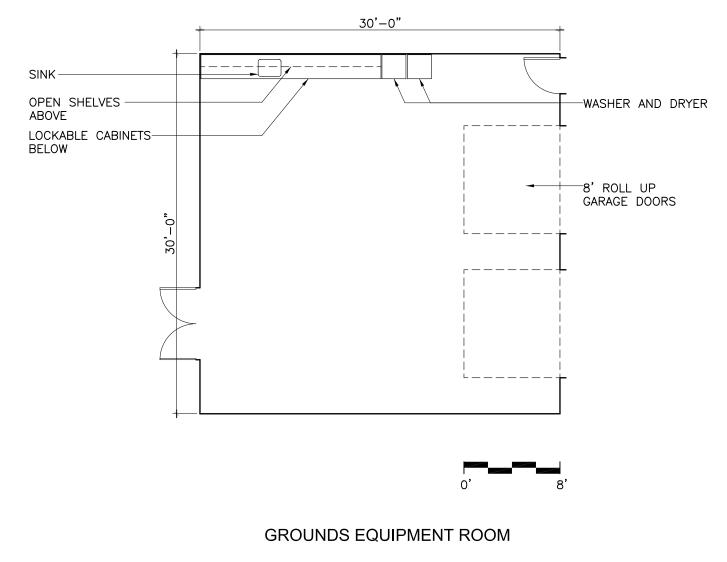
Figure 6.4.4.3-1: Housing Maintenance Building Maintenance / Grounds Shop Room Diagram

UCR WEST CAMPUS FAMILY STUDENT HOUSING DETAILED PROJECT PROGRAM

6.4.4.4 Grounds Equipment Room Shared Facilities: Housing Maintenance Building

| Description | Grounds Equipment Room |
|----------------------------|---|
| Quantity | One |
| ASF | 900 |
| Number of | Full Time: |
| Occupants | Part time: |
| Adjacency Requirements | |
| Adjacency Requirements | Grounds Shop, Outdoors |
| | Grounds equipment storage and maintenance |
| Days of use | Weekdays: 5 Weekends: 2 |
| Hours of use | |
| Hours of use | 5 pm – 12 am Monday – Friday |
| Cailing Usight | 8 am – 12 am Saturday - Sunday (verify) 8'10" min. |
| Ceiling Height Finishes | |
| Finisnes Floor | Concrete |
| Base | 4" Resilient Cove Base |
| Walls | |
| Ceiling | Washable Painted Gypsum Board |
| <u> </u> | Washable Painted Gypsum Board |
| Sightlines | No Special Requirements |
| Doors | Double doors, Single doors, 8' Roll Up Garage doors |
| Windows | See General Facility Data |
| Storage | Shelves and lockable cabinets |
| Signage | See General Facility Data |
| Security | See General Facility Data |
| Special Requirements | 8' Roll Up Garage doors |
| Future Considerations | No Special Requirements |
| Systems | |
| Mechanical | See General Facility Data |
| Plumbing | Sink, washer and dryer |
| Lighting | See General Facility Data |
| Power | See General Facility Data |
| Communications | |
| Data | Data ports (2 locations) |
| Telecom | Telecom / PA |
| Video | No Special Requirements |
| Acoustics | No Special Requirements |

| Room Contents Group I Built-ins | No Requirements | |
|---------------------------------------|-----------------------------------|--|
| Group II | | |
| Movable-Equip. | See Storage and Plumbing Sections | |
| Furnishings | No Requirements | |



900 ASF ADJACENCY: GROUNDS SHOP, OUTDOORS

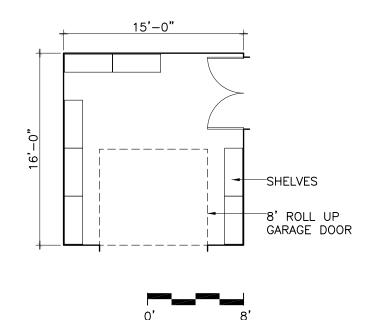
Figure 6.4.4.4-1: Housing Maintenance Building Grounds Equipment Room Diagram

UCR WEST CAMPUS FAMILY STUDENT HOUSING DETAILED PROJECT PROGRAM

6.4.4.5 Recreation Field Storage Room Shared Facilities: Housing Maintenance Building

| Description | Recreation Field Storage |
|------------------------|---|
| Quantity | One |
| ASF | 240 |
| Number of | Full Time: |
| Occupants | Part time: |
| Adjacency Requirements | Outdoors |
| Activities | Storage and maintenance of Rec. Field equipment |
| Days of use | Weekdays: 5 |
| | Weekends: 2 |
| Hours of use | 5 pm – 12 am Monday – Friday |
| | 8 am – 12 am Saturday - Sunday (verify) |
| Ceiling Height | 8'10" min. |
| Finishes | |
| Floor | Concrete |
| Base | 4" Resilient Cove Base |
| Walls | Washable Painted Gypsum Board |
| Ceiling | Washable Painted Gypsum Board |
| Sightlines | No Special Requirements |
| Doors | Single doors, 8' Roll Up Garage doors |
| Windows | See General Facility Data |
| Storage | Shelves |
| Signage | See General Facility Data |
| Security | See General Facility Data |
| Special Requirements | 8' Roll Up Garage doors |
| Future Considerations | No Special Requirements |
| Systems | |
| Mechanical | See General Facility Data |
| Plumbing | See General Facility Data |
| Lighting | See General Facility Data |
| Power | See General Facility Data |
| Communications | |
| Data | Data ports (2 locations) |
| Telecom | Telecom / PA |
| Video | No Special Requirements |
| Acoustics | No Special Requirements |

| Room Contents Group I | |
|--------------------------|---------------------|
| Built-ins | Shelves |
| Group II | |
| Movable-Equip. | See Storage Section |
| Furnishings | No Requirements |



RECREATION FIELD STORAGE 240 ASF ADJACENCY: OUTDOORS

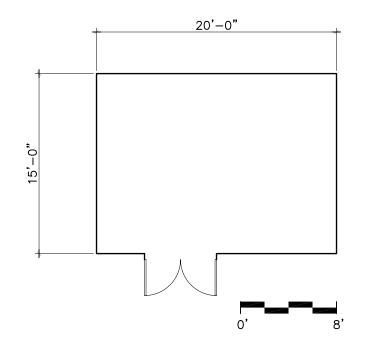
Figure 6.4.4.5-1: Housing Maintenance Building Recreation Field Storage Room Diagram

UCR WEST CAMPUS FAMILY STUDENT HOUSING DETAILED PROJECT PROGRAM

6.4.4.6 Telephone Switch Room Shared Facilities: Housing Maintenance Building

| Description | Telephone Switch Room |
|------------------------|---|
| Quantity | One |
| ASF | 300 |
| Number of | Full Time: |
| Occupants | Part time: |
| Adjacency Requirements | Outdoors, Parking |
| | |
| Activities | Storage of equipment for IM sports (football, softball, soccer) and a |
| | cart. |
| Days of use | 7 days a week |
| Hours of use | 24 hours a day |
| Ceiling Height | 8' min. |
| Finishes | |
| Floor | Tile or other smooth surface that does not produce dust. |
| Base | 4" Resilient Cove Base |
| Walls | Washable Painted Gypsum Board |
| Ceiling | Washable Painted Gypsum Board |
| Sightlines | No structure in space |
| Doors | Double doors |
| Windows | See General Facility Data |
| Storage | No Special Requirements |
| Signage | See General Facility Data |
| Security | Locks keyed with standard telecom housing keys. (PHP) |
| | See General Facility Data |
| Special Requirements | Separate air conditioning on backup power and independent |
| | thermostat; locate room far enough from sources of electromagnetic |
| | interference (EMI) to reduce interference with the telecommunications |
| | cabling. EMI sources include: electrical power supply transformers, |
| | motors and generators. |
| Future Considerations | Include conduit stubs for future phases including phases on the other |
| | side of Iowa. Room for lightning protection for future phases. |

| Systems | |
|----------------|---|
| Mechanical | See Special Requirements and Future Considerations Sections |
| Plumbing | Do not route plumbing through telephone equipment room |
| Lighting | Lighting on backup power. Must be uniform with a minimum of 500 lux (50 foot-candles) as measured 1 m (3 ft.) above the finished floor. |
| Power | Generator for all equipment in room, 3 phase power for rectifier power supply and battery backup system. |
| Communications | |
| Data | Data Ports (2 locations) |
| Telecom | Lightning protection for all phone conductors leaving the building |
| Video | No Special Requirements |
| Acoustics | No Special Requirements |
| Room Contents | |
| Group I | |
| Built-ins | No Requirements |
| Group II | |
| Movable-Equip. | No Requirements |
| Furnishings | No Requirements |



TELEPHONE SWITCH ROOM 300 ASF ADJACENCY: OUTDOORS, PARKING

Figure 6.4.4.6-1: Housing Miantenance Building Telephone Switch Room Diagram

UCR WEST CAMPUS FAMILY STUDENT HOUSING DETAILED PROJECT PROGRAM

6.4.4.7 Staff Restrooms

Shared Facilities: Housing Maintenance Building

| Description | Telephone Switch Room |
|------------------------|---|
| Quantity | Two (one men's and one women's) |
| ASF | 48 each |
| Number of | Full Time: N/A |
| Occupants | Part time: |
| Adjacency Requirements | Outdoors |
| Activities | |
| Days of use | Weekdays: 5 |
| | Weekends: 2 |
| Hours of use | 5 pm – 12 am Monday – Friday |
| | 8 am – 12 am Saturday – Sunday |
| Ceiling Height | 9' min. |
| Finishes | |
| Floor | Tile |
| Base | Ceramic Tile Coved |
| Walls | Ceramic Tile min. Wainscot Height |
| Ceiling | Washable Painted Gypsum Board |
| Sightlines | No Special Requirements |
| Doors | Single doors |
| Windows | See General Facility Data |
| Storage | No Special Requirements |
| Signage | See General Facility Data |
| Security | Panic Buttons |
| | See General Facility Data |
| Special Requirements | ADA compliant toilet |
| Future Considerations | No Special Requirements |
| Systems | |
| Mechanical | Provide exhaust typ. |
| Plumbing | Toilets, lavs, waterless urinals where provided |
| Lighting | See General Facility Data |
| Power | See General Facility Data |
| Communications | |
| Data | No Requirements |
| Telecom | No Requirements |
| Video | No Requirements |
| Acoustics | No Special Requirements |

| Room Contents Group I Built-ins Group II | Provide typical bathroom accessories (recessed) |
|---|---|
| Movable-Equip. | No Requirements |
| Furnishings | No Requirements |

Plan per code.

6.4.4.8 Work Yard

Shared Facilities: Housing Maintenance Building

| Description | |
|------------------------|--|
| Description | Work Yard |
| Quantity | One |
| ASF | |
| Number of | Full Time: N/A |
| Occupants | Part time: |
| Adjacency Requirements | Outdoors |
| Activities | |
| Days of use | Weekdays: 5 |
| | Weekends: 2 |
| Hours of use | 5 pm – 12 am Monday – Friday |
| | 8 am – 12 am Saturday - Sunday |
| Ceiling Height | N/A |
| Finishes | *************************************** |
| Floor | Gravel / Concrete / DG |
| Base | N/A |
| Walls | N/A |
| Ceiling | N/A |
| Sightlines | No Special Requirements |
| Doors | Roll up garage door |
| Windows | See General Facility Data |
| Storage | No Special Requirements |
| Signage | See General Facility Data |
| Security | See General Facility Data |
| Special Requirements | Compressed air |
| Future Considerations | No Special Requirements |
| Systems | สถางของกลางส่วนของกลางกลางสามากของกลางของกลางกลางกลางกลางกลางกลางกลางกลางกลางกลา |
| Mechanical | No Requirements. |
| Plumbing | Exterior hose bibs |
| Lighting | Area lighting required, building mounted and/or standards |
| Power | Exterior outlets |
| Communications | |
| Data | No Requirements |
| Telecom | No Requirements |
| Video | No Requirements |
| Acoustics | No Special Requirements |

| Room Contents Group I Built-ins | No Requirements |
|---------------------------------------|-----------------|
| Group II | · |
| Movable-Equip. | No Requirements |
| Furnishings | No Requirements |

Plan per code.

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7.0 Appendix

7.0 APPENDIX

The Appendix contains additional information on the project.

7.1 MEETING SCHEDULE AND CONFERENCE REPORTS

| Date | Time | Attendees | Subject |
|--------------------|-------------|--|---|
| May 29, 2003 | 9:00-12:00 | UCR Project Programming Committee, RLB | Workshop #1: Child Development Center and Recreation Fields |
| June 10, 2003 | 10:00-12:00 | UCR Project Management Team, RLB | Infrastructure |
| | | RLB Consultant Team | |
| | | City of Riverside Public Works Department Staff | |
| June 12, 2003 | 8:30-9:00 | UCR Project Management Team, RLB | Management Team Meeting |
| | 9:00-12:30 | UCR Project Programming Committee, RLB | Workshop #2: Child Development Center and Recreation Fields |
| June 26, 2003 | 8:00-9:00 | UCR Project Management Team, RLB | Management Team Meeting |
| | 9:00-12:30 | UCR Project Programming Committee, RLB | Workshop #3: Family Student Housing |
| | | UCR Family Student Housing Residents | |
| | 1:00-2:00 | UCR Project Management Team, RLB | Tour of Existing Family Student Housing |
| July 10, 2003 | 9:00-9:30 | UCR Project Management Team, RLB | Management Team Meeting |
| | 9:30-12:00 | UCR Project Programming Committee, RLB | Workshop #4: Family Student Housing |
| | 1:30-3:00 | (above, Dan Johnson) | Delivery Method |
| | | | Submit Administrative Draft DPP |
| July 14, 2003 | 10:00-12:00 | UCR Facilities Management, Security , Parking, Project | Infrastructure |
| | | Management Team, City of Riverside Public Works, RLB | |
| | | Consultant Team | |
| July 28, 2003 | 10:00-12:00 | UCR Project Management Team, Dan Johnson, | Review Cost Estimate |
| | | RLB, DLÁ | |
| August 29, 2003 | 10:00-11:00 | UCR Project Management Team, RLB | Draft Review & Submittal |
| September 25, 2003 | | | Draft Submittal |
| October 7, 2003 | 11:00-2:00 | UCR Project Management Team, DRB, RLB | Presentation to DRB |
| October 21, 2003 | 10:00-12:00 | UCR Project Management Team, DRB, RLB | Presentation to CPEC |
| October 25, 2003 | N/A | N/A | Submit Final DPP |
| January, 2004 | | | Regents Review |

Figure 7.1-1: Meeting Schedule Table

A Project Management Team Meeting preceded each workshop.

The Conference Reports of each meeting, as well as pertinent conference calls, of the West Campus Family Student Housing DPP are included for reference.

| | The following represents a summary of our conference. It will be presumed to be correct unless we are notified within seven (7) days of issuance. | | | | | | | |
|---|--|---|--------------------------|---|--------------------------|---|--|--|
| Project Referen Project No.: Date Submitted Submitted by: This Confirms (| RLB # | #200303 (UCR # /03 revised 5/27/0 Valsh | | USING DPP | | | | |
| | | Date: 5/20/03 | Time: 9:00 AM | Place: UCR | | | | |
| Persons Attend | ding: | | | | | | | |
| UCR UCR UCR UCR | Susan Marshburn Andy Plumley Fernand McGinnis Nita Bullock | | UCR UCR UCR UCR | Kieron Brunelle Tony R. Lees Lindy Fenex Ryan Graham | UCR RLB RLB RLB | Judy Wood Rebecca Binder Kim Walsh Maya Lexa | | |
| Distribution: | Kieron Brunelle (for distril | oution) | | | | | | |
| Subject: | Project Conference #1 | | | | | | | |
| Item: Descri | iption: Resp | <u>onsibility: Da</u> | te: | | | | | |
| | | | | | | | | |

1.0 RLB presented three mounted graphics to INFO introduce the scope of the West Campus Family Student Housing DPP (see attached). The following was indicated:

- 5/30/03 UCR 1.1 Potential variances between the West Campus Area Plan and the Strategic Plan for Housing with respect to site density and the site area for the project were discussed. The total acreage for Phase I and unit density per acre will be revisited. UCR will resolve and direct subsequent to a scheduled conference call between respective consultants.
- 1.2 The orientation of flats and townhouse plan INFO types to the internal park of the Family Student Housing site was confirmed. Flats will orient out, townhouses will orient into the park.
- 1.3 A one bedroom flat will be added to the Family INFO Student Housing plan types.
- 1.4 Unit mix will be tested from that presented in INFO program model.
- Through this planning process, the project 2.0 INFO budget will be tested. UC system funding ratios, site development/utilities, parking, etc. will be included.
 - 2.1 Campus parking standards and priorities will UCR be tested with respect to spaces per unit, efficiency (i.e. "residential feel" street parking (parallel) versus 90 degree and surface lots, visitors space criteria, drop-off, loading and activity parking at Child Development Center and Recreation Field areas. UCR to provide direction.

- 3.0 A capacity of 144 students at the Child INFO Development Center was confirmed and Title 22 minimum (outdoor area standard of 75 square feet per student) was confirmed. The Campus would like to exceed the Title 22 indoor minimum of 35 square feet per student.
 - Per UCR's request, kindergarten program is to INFO 3.1 be included in the Child Development Center.
 - 3.2 Staff and parent parking and drop-off are to be UCR discussed and standards established at the next Child Development Center workshop.
 - INFO 3.3 The 1.5-acre site is confirmed.
- 4.0 Each of the Recreation Fields is being INFO conceived per the Strategic Plan as 55 x 100 vards; 60 x 110 vards was discussed. The baseball and outdoor basketball functions are to be omitted from the Recreation Fields program.
 - 4.1 A future 55,000-60,000 square feet Recreation UCR Facility is planned for the site (2007). UCR is to direct re: Outdoor pool facility and how this will affect Phase I DPP.
 - 4.2 The 10.3-acre Recreation Facility (fields and INFO building) site was confirmed. This area will be tested by the DPP.
 - 4.3 A storage facility function will be added to the RLB Recreation Fields program.
 - 4.4 Public toilets will be added to the Recreation **RLB** Fields program.

6/23/03

RLB

| 5.0 | DPP data sheet surveys for the Child | RLB | 5/2/03 | 6.4 | DELIVERABLES: |
|-----|--|-----|---------|---|---|
| | Development Center and Recreation Fields programs were distributed and discussed. | | | | Administrative Draft: July 10, 2003 |
| | RLB will add room finish prompters to the | | | | Draft DPP: July 23, 2003 |
| | surveys and transmit for distribution. | | | | Final DPP: August 22, 2003 |
| 6.0 | The project schedule was discussed. UCR responses to Child Development Center and | UCR | 5/26/03 | | WORKSHOPS: |
| | Recreation Fields data surveys will be complete on or before 5/26/03 and sent to | | | Brainstorming Session I-Child Development Center and Recreation Fields: May 29, 2003 | |
| 6.1 | RLB. RLB will e-mail housing data surveys to UCR | RLB | 5/21/03 | | Synthesis Session II-Child Development Center and Recreation Fields: June 12, 2003 |
| | for edits by end of day $5/21/03$. | | | | Brainstorming Session III-Housing: June 26, |
| | (completed 5/20/03) | | | | 2003 |
| 6.2 | UCR will return by e-mail housing data survey | UCR | 5/22/03 | | Synthesis Session IV-Housing: July 10, 2003 |
| | edits by 5/22/03. | | | | NEAR TERM: |
| 6.3 | Revised and updated housing data surveys will be e-mailed to UCR for distribution by 5/27/03. All e-mail files will be formatted for | RLB | 5/27/03 | | Distribution of Child Development Center and Recreation Field Surveys: May 20, 2003 |
| | revision marking. | | | | Completion of Child Development Center and Recreation Field Surveys: May 26, 2003 (tentative) |
| | | | | | Distribution of Housing Surveys: May 27, 2003 |
| | | | | | Completion of Housing Surveys: June 5, 2003 |

Schedule for Field Trip, Site Visit: May 29, 2003 @ 12:30 PM.

END OF CONFERENCE REPORT

| The following represents a summary of our conference. It will be presumed to be correct unless we are notified within seven (7) days of issuance. | | | | | | | | |
|--|---|--------------------|---|---|--|---|--|--|
| | | | Ident Housing DP UCR #956315-1) | Ρ | | | | |
| | | Date: 5/29/03 | Time: 9:00 AM | Place: UCR D&C | S J2 | | | |
| Persons Attending: | | | | | | | | |
| UCR UCR UCR UCR UCR UCR UCR Distribu | Susan Marshburn Andy Plumley Fernand McGinnis Nita Bullock Kieron Brunelle Lindy Fenex Judy Wood Kieron Brunelle (for distribu | | CR Tony CR Tom CR Mike CR Stev CR Rom | e Stearns Lees Schofield Eason en Thiele an Bosquez neth Ubom | UCR UCR UCR UCR RLB RLB | Jeanette Bradeen Susan Johnson Celia Rivera Dale Bailey Rebecca Binder Kim Walsh | | |
| Subject | : Workshop #1: Recreation F | ields & Child Deve | elopment Center | | | | | |
| Item: | Description: Respon | sibility: Date: | | | | | | |
| 1.0 | The following general overview issu indicated: | ues were info | | 1.1 | The West Campus Area Plan parking spaces per Family Stud unit. Currently parking is per un parking. | lent Housing | | |
| | | | | 1.2 | Development of the South Mall r | nay not need Info | | |
| | | | | | | | | |

to be included in Phase I. Grove irrigation however must be maintained and protected.

- 1.3 Child Development Center should remain at Info site adjacent to Iowa.
- 1.4 General public telephones or ATM machines Info will not be provided by this project.
- A community room function should be UCR included. UCR will provide further direction and respond to the DPP questionnaire for this program.

(Subsequent Conference Call on Friday, May 30, 2003 opened possibility of this being permanently within the Recreation Facility and temporarily in a Model Townhouse.)

- 1.6 Definition of the site area and boundaries will UCR be revisited. UCR will provide direction.
- 1.7 The recreation fields program usage is Info primarily weeknights, Sunday through Thursday. Club sport usage is generally on the weekends.
- The fields will be open for use, by students Info only, during the day. Curfew is at 11 PM. Access control (fencing, card key) will be required.
- 1.9 The Child Development program components Info should generally replicate and refine the existing 144 student Child Development Center.
- 2.0 The following was indicated during the info Recreation Fields discussion:

- 2.1 The Recreation Department's existing 85,000 Info square foot facility has approx. 92 spaces. Twice that amount is desired for this facility. Double loaded parking at the north and east of the field area was schematically presented. Bike parking should be accommodated.
- 2.2 (4) 66 x 120 yard Field areas are programmed RLB as indicated by the recreation staff. The fields and lighting are to be programmed to allow (2) softball fields. The height and location of light standards is to be reviewed to determine likely extent of "light pollution" to adjacent functions.
- 2.3 Summer camp will be a potential activity Info during the summer semester.
- 2.4 All parking lot areas must conform to campus Info security lighting and telephone standards. Bus and shuttle drop-off / parking should be addressed by the fields parking area function.
- 2.5 UCR (Lindy Fenex) will provide additional UCR input regarding recreation department requirements for the field area including desired character of field construction.
- 3.0 The following was indicated during the Child info Development Center discussion:

- 3.1 The facility should address both external UCR (public) and internal (housing units) access paths. Public access drop-off and parking should be from the Northwest Mall. Traffic breaks in the median strip will need to be revisited by Mall designers.
- 3.2 The facility should be sited to provide Info physical, visual and sound barriers to street traffic and maximize passive solar shading.
- 3.3 All facility access points will be security Info controlled and all facility program functions will be within the main Entry Lobby/Reception security point.
- 3.4 Various Program function adjacencies were Info discussed. RLB will incorporate these comments into the facility and function data sheets for UCR review and an adjacency bubble diagram.

3.5 An Extended Day Care Center UCR (EDCC)/Community Room function (60 occupants max., 1,000-1,200 square feet) was discussed (this function would satisfy the Multi-Purpose program). Access, toilet room, kitchen and other specific program requirements will need to be determined. (The Community Room function may be included in Phase I as a temporary solution

(Completed Surveys for Community Room function received by RLB 05/30/03.)

per conference call 05/30/03. EDCC is TDB.)

- 3.6 Multi-use Community Room/Extended Day Info Care facility was discussed.
- 3.7 UCR indicated that the Maintenance Storage Info Room function of the Child Development Center duplicates the Recreation Fields Maintenance Storage Room function. A Maintenance Storage Room is not needed in both facilities.
- 4.0 UCR will consider EDCC for Phase II Center RLB based on its not including a kindergarten, allowing area for an EDCC.

END OF CONFERENCE REPORT

| | The following represents a summary of our conference. It will be presumed to be correct unless we are notified within seven (7) days of issuance. | | | | | | |
|-------------------------------|--|---|--------------|--------------------|---------------------|---|--|
| Project Date Su Submitt | bmitted: | Family Student Hous RLB #200303 (UCR 06/03/03 Rikki Binder versation of | | | | | |
| | | Date: | Time: | | Place: | | |
| Persons | s Attending: | 5/30/03 | 11:0 | 0 AM | TELEPHO | NE | |
| UCR UCR UCR | Susan Marshburn Nita Bullock Kieron Brunelle | | BMS HEWV | Barbara Kenneti | a Mahoney n Hall | HEWV Jane Wright RLB Rebecca Binder | |
| Distribu | Distribution: Kieron Brunelle (for distribution) | | | | | | |
| Subject | : Project Conferen | ce Call #1 | | | | | |
| Item: | Description: | <u>Responsibility:</u> | <u>Date:</u> | | | | |
| 1.0 | The UCR clarification no West Campus Area Plar Strategic Plan for Housi potential variance between | (WCAP) and the ng (SPFH) and a the WCAP and the | nfo | | 1.1 | The site due north of the Child Development Info Center (CDC) in Phase I and due south in Phase II are to be deemed Family Student Housing sites and not apartment sites. | |
| | SPFH with respect to site area for the project were di | | | | | The total acreage for Phase I and unit density Info per acre were reviewed. The 10% overage was not considered a significant variance from the planners' point of view. The LRDP would | |
| | | | | | 1.3 | reflect the higher density. The overall ratio of 2 to 3-story building Info | |

masses will be revisited: All flats at 3 stories, townhouses at 2 stories.

- 1.4 The CDC site is to be 1.5 acres (not 3.0). info
- 2.0 Housing units were discussed. Info
 - 2.1 The orientation of plan types to the internal Info neighborhood park of the Family Student Housing was confirmed. Flats will orient out, townhouses will orient into the park.
 - 2.2 A one bedroom flat will be added to the Family info Student Housing plan types. (The basis of design includes 75% three story flats and 25% two story townhouses per the discussion.)
 - 2.3 Planners tested the unit mix from that UCR presented in the program model. The basis (Hall) for the model will be sent to RLB in AutoCAD for DPP use.
- 3.0 Parking was discussed. Info
 - 3.1 The Campus Planners assumed one car per Info Family Student Housing unit, including visitor parking.
 - 3.2 Everton Place parking was included in this Info count, as well as several "pocket" parking areas.

- 3.3 Campus parking standards and priorities will UCR be tested with respect to spaces per unit, efficiency i.e. "residential feel" street parking (parallel) versus 90 degree and/or surface lots, visitors' space criteria, drop-off, loading and activity parking at the Child Development Center and Recreation Field areas. UCR to provide direction.
- 3.4 Parking count for the Recreation Fields is to Info be re-evaluated through the DPP and budget re-addressed.
- 3.5 Staff and parent parking and drop-off at the UCR CDC are to be re-visited.
- 4.0 Recreation Fields site was discussed. Info
 - 4.1 Each of the Recreation Fields is to be Info programmed at 65 x 120 yards with no rotation to be accommodated.
 - 4.2 The Northwest and Southwest Malls will be UCR set in context by the planning parameters of the fields and the apartment site to the east of lowa. KH to transmit CAD drawing to RLB defining this.
 - 4.3 A future 55,000-60,000 square feet Recreation UCR Facility is planned for the site, adjacent to the fields (2007) and may provide for a Resident Services Office, community room, maintenance storage and public restrooms. In Phase I, these functions may be accommodated in a temporary facility and/or a townhouse. TBD.
 - 4.4 The 10.3-acre Recreation Facility (fields and Info

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building) site was confirmed (not 12.3 acres).

- 5.0 Vehicular access was discussed. Info
 - 5.1 Through traffic is an issue with differing points Info of view. Some diagrams indicate through access to Iowa Avenue from the Housing "block."
 - 5.2 Resolution of through traffic and fire access is UCR required.

END OF CONFERENCE REPORT

7.0 Appendix

| | lt will | | | ents a summary of our conference. ss we are notified within seven (7) c | lays of issuance. | |
|---|---|-----------------------|--|--|--|--|
| Project Date Su Submitt | Ibmitted: | | Family Student H (UCR #956315-1 | | | |
| | minins our Personal Comerence of | Date: 6/10/03 | Time: 1:30 PM | Place: UCR Bannockburn J102 | | |
| Persons UCR UCR UCR UCR UCR Distribut Subject: | Υ. | | UCR UCR UCR UCR UCR UCR | Scott Corrin Doug Lindberg Pat Simone Lance Danks Andrew Stewart Matt Jones | City of Riverside EWM ME RLB RLB | Sandy Cauldwell Eli Yomtov Frank Stefan Rebecca Binder Kim Walsh |
| <u>ltem:</u> | Description: Respon | <u>sibility:</u> Date | <u>:</u> | | | |
| 1.0 | RLB briefly presented the scope of the to help orient the attendees and estangoals for the meeting. | |) | | | |
| 2.0 | The following was indicated re: sewer per the West Campus Area Plan (Wo 25): | |) | | | |

- 2.1 The proposed 12" sewer appears to cross RLB private property north of the west extension of Everton Place via a utility easement (identified during the meeting by Riverside Public Works staff-Sandy Cauldwell. Responsibility (UCR vs. Public Utility) is unclear, however standard procedure is for the developer a.k.a. campus to obtain the appropriate permits from the city regarding installation in the easement. The piping would become city property within the easement after construction and acceptance. The campus would retain ownership of the piping on campus. If this routing was not satisfactory, the campus should explore taking the piping west to Cranford Avenue. The 12" pipe would be installed in city right of way from the northern campus boundary to University Avenue. The distance for the 12" pipe would be twice the length of the original route if taken west to Cranford and then north to University.* Responsibility, routing and easements need to be resolved. Extent of accommodation of future phases is also unclear. UCR indicated that Bruce Thomas. Kennedy Jenks, (see conference report of June 11th) should be involved in this resolution.
- 3.0 The following was indicated re: Storm Drain INFO (S. D.) utilities per the WCAP (fig. 27):
 - 3.1 Phase one S.D. will most likely connect to INFO County Flood Control S.D. at MLK.

- 3.2 Resolution of existing (International Village) INFO drainage problems at Iowa Avenue is not part of this project. As is the case with any other re-mediation due to other projects.
- 3.3 Riverside County is responsible for overseeing INFO of storm water retainage, not the City.
- 3.4 There was discussion of utilizing the EWM recreation fields to satisfy on-site retainage / recharge. This will require further analysis by Civil.
- 4.0 The following was indicated re: Street Traffic: INFO
 - Per UCR, current four-lane Iowa Avenue INFO 4.1 traffic from the north terminates at Everton.
 - 4.2 Per UCR, discussions with City of Riverside UCR regarding the extent of, and responsibility for, traffic infrastructure improvements will begin soon (2-3 weeks). Sidewalk, curb and gutter, and street lighting standards / requirements as well as an additional (N.I.C.) traffic lane will be part of this discussion. However, the consultants should assume half width street improvements including median, curb gutter, sidewalk and streetlights. The only issue to be discussed is the number of traffic lanes in each direction, one (LRDP) or two (city).
- 5.0 The following was indicated re: Domestic INFO Water utilities per the WCAP (fig. 28):

- 5.1 Domestic Water will be supplied by City of INFO Riverside Public Utilities –Water Division (Contact: Kevin Mulligan). The West Campus water system will not be connected to the East Campus water system. New connections will need to be established through City connections. See LRDP and WCAP for more information.
- 5.2 Sizing of the domestic water mains (per the EWM WCAP figure) will be verified by civil.
- 6.0 The following was indicated re: Electricity INFO utilities per the WCAP (fig. 30):
 - 6.1 The long-range plan for the West Campus is INFO to be connected to the Campus 12 kV substation.
 - 6.2 Constructibility and future provisions for the UCR duct bank feed to the campus substation require review. In the long term the project requires campus electric rates. Lower first cost solutions (tapping into city power OH line currently at lowa) with phased tap into campus system should be reviewed. UCR will provide City vs. Campus rates for analysis.
 - 6.3 Project metering will be established by the M-E DPP. MEHA to provide housing with pros and cons.
- 7.0 Communication system, the following was INFO indicated:

- 7.1 Connection to the campus fiber optic loop is UCR essential to the project. Fire alarm, security, and energy management systems all rely heavily on this connection. The fiber optic loop must extend to the new Maintenance Building. UCR will provide future direction / information.
- 7.2 UCR identified (4) 4" conduits stubbed at the INFO corner of Iowa Avenue and Everton Place. These conduits will be used to connect to campus telephone and fiber data systems. All facilities within this project will be on the Campus phone system.
- 7.3 Cable service will be extended from the public INFO street. The local cable company is Charter Cable Co. UCR may make arrangements to buy bulk cable rates.
- 8.0 The following was indicated re: gas utilities per INFO the WCAP (fig. 29): Medium pressure gas is located in both University Ave. and Martin Luther King Blvd.
- 9.0 The following was indicated re: Fire INFO Department access and Hydrants per the WCAP (fig. 79):
 - 9.1 Access on a 20' wide (minimum) road, with all INFO weather surface, is required throughout the project for Fire Department vehicles.

- 9.2 Access is required such that every point of INFO every structure is within 150' "hose length" of a Fire Department access road. Fencing and heavy landscape elements must be included in the hose length requirement.
- 9.3 Fire Department access roads exceeding 150' INFO in length must be "through" access roads or must have approved turn-arounds.
- 9.4 UCR will provide direction regarding internal UCR site and street access points and access control criteria.
- 9.5 All structures shall be fully sprinklered and fire INFO hydrants shall be located using the 150' "hose length" rule (see item 9.2 above).
- 10.0 The following was indicated re: metering INFO
- 10.1 The discussion on metering focused on UCR's M-E requirement to retain their current favorable electricity rate structure. Similarly for gas, the issue of metering pros versus cons was summarized. ME Engineers. Will forward pro vs. con matrix for UCR review.

END OF CONFERENCE REPORT

| | The following represents a summary of our conference. It will be presumed to be correct unless we are notified within seven (7) days of issuance. | | | | | | |
|--|--|------------------|---------------|----------------|-----|--|-----|
| Project Reference: West Campus Family Student Housing Project No.: RLB #200303 (UCR #956315-1) Date Submitted: 06/13/03 Submitted by: Rebecca Binder This Confirms Our Telephone Conversation of Image: Conversation of Conversation Conversa | | | | | | | |
| | I | Date: 5/11/03 | Time: 4:30 | Place: | | | |
| Persons | s Attending: | | | | | | |
| UCR | Kieron Brunelle | | RLB | Rebecca Binder | | | |
| Distribu | tion: Kieron Brunelle (for distribution | ו) | | | | | |
| Subject | Infrastructure and Scope | | | | | | |
| Item: [| Description: Responsib | ility: <u>Da</u> | ate: | | | | |
| 1.0 | RLB indicated the following base telephone conference 6/11/03 (Kieron, F | | ō | | 1.2 | The 12 KVA substation available capacity should be verified. The East Campus may already take all four circuits. UCR has | UCR |
| 1.1 | Regarding existing and pro infrastructure, the Long Range Develo | posed Int | fo | | | scheduled a meeting for July 10 ^{th.} To verify. | |
| | Plan (LRDP) takes precedence over the Campus Area Plan (WCAP). | | | | 1.3 | A sewer right-of-way exists where shown in WCAP sewer figure. Civil should verify this with City of Riverside. | EWM |

- 1.4 Gas lines point-of-connections are in conflict Info between the LRDP and WCAP. Civil should verify with the Gas Company. The LRDP shows proposed POC where WCAP shows existing POC. Clarification is needed as to what constitutes an existing vs. proposed POC.
- 1.5 RLB is to use the following information priority Info when conflicts exist: #1-LRDP (1990 & 2003),
 #2 WCAP, #3 Strategic Plan for Housing.
- 1.6 Regarding vehicle access infrastructure, Info access drives internal to the housing project will not go through to Iowa Avenue. Only the westward extension of Everton Place and the Northwestern Mall and the Southwestern Mall will access Iowa. These will be campus streets (not city streets).
- 1.7 UCR confirmed that a Maintenance Building Info will be included in the West Campus Housing Phase I project.
- 1.8 UCR confirmed that the Multi-purpose Room Info and Housing Administration function will be in a separate structure located in the Family Student Housing parcel.

END OF CONFERENCE REPORT

| | lt will | | | sents a summary of our conference. ess we are notified within seven (7) da | ays of issuance. | | | |
|--|---|------------------------------|---------------------------------|--|--|---|--|--|
| Project Reference: Project No.: Date Submitted: Submitted by: This Confirms Our Personal Conference of | | | | | | | | |
| 1113 00 | | Date: 6/12/03 | Time: 8:30 | Place: Bannockburn J102 | | | | |
| Persons | s Attending: | | | | | | | |
| U U U | CR Andy Plumley CR Susan Marshburn CR Dan Johnson CR Steve Stevens CR Jeanette Bracken | | UCR UCR UCR UCR UCR | Fernand McGinnis Nita Bullock Kieron Brunelle Tony R. Lees Lindy Fenex | UCR RLB RLB RLB | Judy Wood Rebecca Binder Kim Walsh Maya Lexa | | |
| Distribu Subject | Υ. | | d Recreation Fie | lds | | | | |
| | | | | | | | | |
| <u>ltem:</u> | Description: Respon | <u>nsibility:</u> Date | <u>:</u> | | | | | |
| 1.0 | RLB summarized scope and infra resolutions per 6/11/03 telect (distributed earlier). | astructure Info onference | | | oment Plan). Housing en for manipulation. | streets | | |
| 2.0 | UCR will review traffic access co provide direction regarding veh pedestrian access control criteria. | | 2 | | | | | |
| 2.1 | | | | | | | | |

- 3.0 The Fields Maintenance Facility location was info reviewed. UCR indicated that the facility shall be located adjacent to the Support parcel on part of a 4.0 AC parcel, northwest of the Recreation Fields and the Northwest Mall.
- 4.0 RLB presented an adjacency diagram of the info Child Development Center (CDC) for comment. The following was indicated:
 - 4.1 All facility functions beyond the Entry Drop-off info area shall be within the security access control boundary.
 - 4.2 All Pre-school and Kindergarten Classrooms info are to be provided IT ports.

- 4.3 The CDC parking area shall provide (30) info staff/parent parking spaces. (20) additional staff parking spaces shall be located within the Recreation Fields parking area.
- 5.0 RLB presented a Recreation Field diagram for info comment. The following was indicated:
 - 5.1 The fields program currently includes (4) UCR soccer fields and (2) softball fields. The negative impact of the softball fields on lighting and turf configuration for all fields was raised. The project will proceed with (2) softball fields in the program. UCR will review this function.
 - 5.2 UCR (Lindy Fenex) will provide additional UCR criteria for field construction.

END OF CONFERENCE REPORT

The following represents a summary of our conference. It will be presumed to be correct unless we are notified within seven (7) days of issuance. West Campus Family Student Housing Project Reference: RLB #200303 (UCR #956315-1) Project No.: Date Submitted: 07/01/03 Submitted by: Kim Walsh This Confirms Our Personal Conference of Date: Time: Place: 6/26/03 Bannockburn J102 8am **Persons Attending:** Andy Plumley Kathleen Montgomery UCR UCR UCR Joel Beutel UCR Susan Marshburn Abby Juhasz UCR UCR Mark Schlenker Joon Ho Hwang UCR Nita Bullock UCR RLB Rebecca Binder UCR Kieron Brunelle UCR Tom Schofield RLB Kim Walsh UCR UCR Tony R. Lees Jamie Whiteford RLB Elizabeth Silver UCR Steve Stearns UCR Claudette Brewer RLB Maya Lexa UCR Mingxin Guo UCR Jeanette Bradeen Distribution: Kieron Brunelle (for distribution) Workshop #3: Family Student Housing Subject: Item: Description: Responsibility: Date: The following general items were indicated info RLB indicated that the parking and building info 1.0 1.1 siting were being tested and that "pocket prior to the formal meeting agenda: parking areas" within the housing site would probably be required.

1.2 UCR indicated that quality green space is a info

site priority.

- 1.3 The project density of 30 units per acre was info reiterated.
- 1.4 RLB presented a color-coded Parcel Map for info review. Per UCR direction, the Maintenance parcel shall be located on a housing parcel (not on but adjacent to the support parcel), and apartment housing parcels shall be indicated as "housing" parcels only.
- 1.5 RLB requested clarification of the width of the UCR buffer zone to Martin Luther King Boulevard. UCR will review and provide direction.
- 2.0 UCR introduced background, goals and info schedule for the programming phase of the project.
- 2.1 RLB outlined the process and goals of the info workshop.
- 2.2 The planned density of the project was info reiterated and parcel adjacencies were reviewed.
- 3.0 Housing room layout and surveys were info discussed and individual room data sheets were in-filled based on the general consensus of attendees' responses.

- 4.0 Regarding the general unit layout, the info desirability of one-bedroom units was discussed. UCR indicated that two bedroom units are preferred but cost versus rent would be the determining factor (+\$100/mo. was cited as the break point). Further study is required.
- 5.0 Regarding the entry/living/dining room, RLB consensus was not reached with respect to the degree of separation to the adjacent kitchen. A desire for an open spacious interior environment conflicts with a desire for a definite visual food preparation and odor barrier. An adaptation feature, perhaps a removable panel within the casework module, should be incorporated into the DPP.
- 6.0 Regarding the kitchen; see item 5.0 above, info consensus was not reached on the provision of a dishwasher, and full size, stacked washer/dryer was desired. Requirements for dishwasher and washer/dryer will be included in the DPP (items are group 2/3 for cost purposes).
- 7.0 Regarding the master bedroom, children's info bedroom and patio; consensus was reached on all issues discussed. The DPP will be infilled accordingly.

DPP November 2003

- 8.0 Regarding the bathroom: one bedroom units info (not included in Phase I) will receive one bathroom, two bedroom units will receive 1-1/2 bathrooms, three bedroom units will receive 1-3/4 bathrooms. No bathrooms will be dedicated use (i.e. for master bedroom use only) and compartmentalization will be noted for study in the Design Phases.
- 9.0 Hard water was noted by UCR as a problem M-E throughout the campus. This issue should be addressed by the DPP.

END OF CONFERENCE REPORT

7.0 Appendix

7.0 Appendix

R. L. BINDER, F.A.I.A. **ARCHITECTURE & PLANNING** 7726 81st Street, Playa Del Rey, California 90293, 310.301.0260

| Project Reference: Project No.: Date Submitted: Submitted by: This Confirms Our Personal Conference of | | | ous Family H 03(UCR #9 | | | | |
|--|-----------------------------------|------------------|---------------------------|---------------------------------|--------------------------|---|----|
| | | Kim Walsh | | | | | |
| | | Date: 7/10/03 | Tim 9:00 | | e: R Bannockburn J102 | | |
| Persons / | Attending: | | | | | | |
| UCR | Susan Marshburn | | UCR | Steve Stearns | UCF | | |
| UCR | Andy Plumley | | UCR | Abby Juhasz | UCF | , | |
| UCR | Fernand McGinnis | | UCR | Jamie Whiteford | UCF | | |
| UCR | Kieron Brunelle | | UCR UCR | Jeanette Bradeer Joel Beutel | UCF | | |
| UCR UCR | Tony R. Lees | | UCR | Michelle Beutel | RLE | | |
| UCR | Lindy Fenex Mingxin Guo | | UCR | Mark Schlenker | NLE | | II |
| Distributi | on: Kieron Brunelle (for distribu | tion) | | | | | |
| Subject: | Housing Workshop #4 | | | | | | |

- 1.0 RLB presented a brief overview of the project info and the goals of the current workshop. The following was indicated.
- 1.1 Phase 1 of the West Campus Area Plan info (WCAP) will include development of 7 Housing parcels with approximately 368 units. All units will have two-story massing.
- 1.2 The housing parcels will provide one parking info space per unit inside the parcel perimeter and 0.5 space per unit outside the perimeter on adjacent streets and Recreation field area. Accessible car and van parking spaces will also be provided in compliance with ADA.
- 1.3 Community Center, Child Development and info Recreation Fields facilities locations and programs were identified. Phase 2 program facilities were briefly explained.
- 2.0 Room layout kits distributed subsequent to INFO last housing workshop were discussed. The following was indicated:
- 2.1 Prior to this session, several student INFO participants completed layouts for various rooms. While none of the specific layouts were discussed, the general consensus was that even the minimum areas proposed would accommodate the student family needs.
- 2.2 Rental rates were reiterated as a primary INFO concern.
- 2.3 The following items were proposed as "wish DLA list" additive items for cost consideration: kitchen appliances (dishwashers, microwaves, washer / dryers, fully vented range hoods), bathroom quantities, unit area reductions.
- 2.4 UCR indicated that all units shall be air INFO

conditioned.

| | conditioned. | |
|-----|--|------|
| 3.0 | A project site diagram was presented and program component siting / master planning was discussed. The following was indicated. | INFO |
| 3.1 | The desired project density of 30 units per acre is achievable with two story massing as presented. | INFO |
| 3.2 | By consensus, all bedrooms in townhouse units will be on the second level. | INFO |
| 3.3 | 2/3 two bedroom and 1/3 three bedroom will be the unit mix target per UCR. | INFO |
| 4.0 | Discussion on "shared facilities" indicated the following: | INFO |
| 4.1 | Facilities proposed for the neighborhood parks were swimming pool, water park, covered picnic area, public toilets, and ample landscaping. | DLA |
| 4.2 | Each housing parcel will have a fenced tot lot area with apparatus for younger children. | DLA |
| 4.3 | Regarding gated security fencing at housing perimeter, consensus was not reached. Fencing will be estimated as an additive item. | DLA |
| 4.4 | Personal storage facilities, other than a small closet within each unit, will not be provided per UCR. | INFO |
| 4.5 | Each unit will be provided some form of covered outdoor patio / deck space. The feasibility of providing a community garden will be explored. | DLA |

- 4.6 Covered (under stairways) bicycle racks were DLA requested.
- 4.7 Community Center functions were discussed UCR and the facility/room data sheets will be included in the DPP. (Several room data sheets are outstanding).

| | | | | represents a summary of c t unless we are notified wi | ur conference. thin seven (7) days of issuance | • | | |
|--|--|--------------------------------|------------------------------|--|---|----------------------------------|---------------------------------------|------|
| Project Date Su Submitt | Project Reference: Project No.: Date Submitted: Submitted by: This Confirms Our Personal Conference of | | Family Housii (UCR #95631 | | | | | |
| This Confirms Our Personal Conference of | | Date: Time: 7/10/03 1:30 PM | | Place: UCR F10 | 1 | | | |
| Persons | Attending: | | | | | | | |
| UCR UCR UCR | Susan Marshburn Andy Plumley Fernand McGinnis | l | JCR JCR JCR | Kieron Brunelle Dan Johnson Tim Ralston | | DLA RLB RLB | Sam Kelbri Rebecca Bi Kim Walsh | |
| Distribu | tion: Kieron Brunelle (for distribut | ion) | | | | | | |
| Subject | Project Delivery Methods | | | | | | | |
| Item: | Description: | Responsibility: | <u>Date:</u> | | | | | |
| 1.0 | The project will be financed by traditio | | | 2.2 | Multiple Prime bids (ide | entified as rout | tine). | INFO |
| 2.0 | University of California (UC) system m University of California Riverside (UCI summarized the following potential pro delivery methods: | R) INFO | | 2.3 | Modified Design / Build bidders, documents an G.C. (UCR is <i>investiga</i> method for this project) | d project com ting or enterta | pleted by | INFO |
| 2.1 | Design / Bid / Build (identified as routi | ne). INFO | | | | | | |

- 2.4 CM at Risk (DD documents to G.C. With INFO negotiated project costs).
- 3.0 Union (prevailing wage) is required at UCR. INFO
- 4.0 This project will be submitted to the Regents INFO in November 2003.
- 5.0 A cost meeting, potentially including INFO Structural, M/E/P, and Civil consultants was proposed. A meeting has been scheduled by RLB / UCR for 7/28/03.
- 6.0 UCR reiterated the importance of verifying the MEHA utility capacities assumed.
- 7.0 Infrastructure costs are to be separately DLA assigned to the project components (Housing / CDC / Fields).
- 8.0 The Draft DPP will not be issued until so INFO directed by UCR (5 working days minimum notice).

| | | It will be presu | The following repr umed to be correct un | esents a summary of our conference. less we are notified within seven (7) days | of issuance. | | | | | | | | | | | | |
|----------------------------|---|------------------|---|---|----------------------------|---|--|--|--|--|--|--|--|--|--|--|--|
| Project | | | West Campus Family Housing RLB #200303 (UCR #956315-1) | | | | | | | | | | | | | | |
| Date Submit Submitted b | | Kim Walsh | Kim Walsh | | | | | | | | | | | | | | |
| 11113 00 | | Date: 7/14/03 | Time: 9:30 am | Place: UCR D&CS F101 | | | | | | | | | | | | | |
| Persons | s Attending: | | | | | | | | | | | | | | | | |
| UCR UCR UCR UCR | Susan Marshburn Fernand McGinnis Kieron Brunelle Lindy Fenex | | UCR UCR UCR UCR | Tim Holmes John Peraino Matt Jones Jeff Adams | UCR MEHA MEHA RLB | Enrico Baez Sean Hira Frank Stefan Kim Walsh | | | | | | | | | | | |
| Distribu | tion: Kieron Brunelle (for distribution) | ution) | | | | | | | | | | | | | | | |
| Subject | : M/E/P Conference | | | | | | | | | | | | | | | | |
| | | | | | | | | | | | | | | | | | |
| <u>ltem:</u> | Description: | Responsibility | <u>/: Date:</u> | | | | | | | | | | | | | | |
| 1.0 | The following was indicated relative t Housing component: | to the info |) | | | | | | | | | | | | | | |

- 1.1 A split system with hydronic heat (from info domestic water heater) with recirculation pump is favored by UCR due to their familiarity with these systems elsewhere on campus. Per UCR, only a plumbing tradesman can service these systems. A 50-gallon gas fired water heater is preferred 1.2 info for each unit. UCR prefers these are to be located at grade level. Per UCR the following utilities should be 1.3 info metered: gas. electrical. Power metering option matrix with four options presented to UCR. 1. Whole facility. 2. Each building. 3. Each housing unit by Utility Company. 4. Each housing unit by University. Option 3 was selected by UCR. Gas appliances are favored to provide the 1.4 info most economical and reliable service. Water softening is not favored by UCR. Water RLB 1.5 heaters should be located at the ground level for all units for ease of service and replacement. A utility closet with vertical HVAC AC unit is MEHA 1.6 preferred over soffit mounted equipment due to ease of access for maintenance and
- 1.7 A telephone switch room with emergency UCR generator will be needed at the Fields Maintenance building. UCR will provide room data sheets (sent 7/17/03 for distribution).

servicing.

UCR 1.8 Site lighting throughout the project will be based on the Pentland standards. UCR will provide. 1.9 Housing unit carbon monoxide (co) sensors DLA will be estimated as a "wish list" item for enhanced safety. 1.10 All Facility security systems will report back to MEHA the Security station at the Pentland project. UCR prefers integral battery system in lieu of 1.11 info generator for the emergency egress lighting requirement. 2.0 The following was indicated relative to the info existing Child Development Facility: 2.1 The facility has multiple split systems with info ground mounted condensing units and ceiling mounted fan coils. 2.2 The existing condensers were not provided info with adequate venting clearance resulting in multiple failures. 2.3 UCR prefers integral battery system in lieu of info generator for the emergency egress lighting requirement. 3.0 The following was indicated relative to the info **Recreation Fields component:** The Fields will be provided water, power, 3.1 info storm drainage, data / telecom, sewer utilities. 3.2 The Fields will require 30'-70' light standards. info 3.3 Portable toilets and drinking fountains will be DLA provide at the west end of the field area. The project will provide rough-in utilities only.

| | | | It will be pres | | eents a summary of our ss we are notified with | conference. in seven (7) days of issuan | ICE. | | | | | | | |
|--|--------------------|--|----------------------|--|---|--|--|---|--|--|--|--|--|--|
| Project Reference: Project No.: Date Submitted: Submitted by: This Confirms Our Person | | e: | | is Family Housing 3 (UCR #956315-1) | | | | | | | | | | |
| | | ur Personal Conference of | Kim Walsh | Kim Walsh | | | | | | | | | | |
| | | | Date: 7/28/03 | Time: 10:00 AM | Place: BANNOCKB | URN 101 | | | | | | | | |
| Person | s Attendi | ng: | | | | | | | | | | | | |
| UCR UCR UCR | | Susan Marshburn Andy Plumley Fernand McGinnis | | UCR UCR UCR | Kieron Brunelle Dan Johnson Ted Chiu | | DLA RLB RLB | Sam Kelbrick Rebecca Binder Kim Walsh | | | | | | |
| Distribu | ution: | Kieron Brunelle (for distribut | ion) | | | | | | | | | | | |
| Subject | t: | Preliminary Cost Plan Revie | W | | | | | | | | | | | |
| <u>ltem:</u> | Descrip | tion: | <u>Responsibilit</u> | <u>y: Date:</u> | | | | | | | | | | |
| 1.0 | indicate change | mmarized the scope of the pro d the following UCR requester s to that identified in the West an (WCAP): | ł | D | 1.1 | larger than originally | proximately four acres planned. Seven Housi veloped instead of fou | ng | | | | | | |

- 1.2 The Community Center is 6,400 sq. ft. and the UCR Fields Maintenance Facility is 3,000 sq. ft. (and not in the WCAP). RLB will send The current room data for these functions to UCR for review. (See 7/28/03 email)
- 1.3 Two neighborhood parks are included. info
- 2.0 DLA distributed copies of a preliminary draft DLA cost plan dated 7/18/03 and summarized the format and basis of the cost plan. The site utilities cost and project alternates will be further developed for the Draft DPP.
- 3.0 UCR indicated that the Maintenance, info Community, and Child Development Facilities costs are understood. Additional cost information for the Housing units was requested.
 - 3.1 UCR requested a matrix to clarify the cost RLB impact of alternate basic building systems. The systems suggested for review were the building shell (finishes, aesthetic issues) and M/E/P systems.
- 4.0 Various cost plan scope items were reviewed. info UCR indicated the following:
 - 4.1 Data telecom wiring is to be included in the DLA scope.
 - 4.2 G.C. and OH&P seem low. 12% was DLA suggested. The design contingency also seems low. 15% was suggested. DLA will review.
 - 4.3 Delete ceiling fans from scope. DLA

| 4.4 | M/E/P systems cost / scope should be revisited. Specifically cited was fire alarm infrastructure. | DLA |
|-----|---|------|
| 4.5 | Site Preparation shall include extensive tree removal. (No Hazmat). | DLA |
| 4.6 | Parking lot area costs shall be identified separately. | DLA |
| 4.7 | The fence enclosing the Recreation Fields shall be 6" chain link with card key access. | DLA |
| 4.8 | Delete street improvement scope at Cranston south of the Northwest Mall at the west end of the Recreation Field. | DLA |
| 4.9 | Include 1/2 of Iowa as a four-lane road. | DLA |
| 5.0 | The following schedule items were discussed: | info |
| 5.1 | The 7/31/03 site-planning meeting is cancelled. | info |
| 5.2 | The revised cost plan and matrix are due 8/14/03. | DLA |
| 5.3 | The Draft DPP is due 1st week in September if UCR revisions based on cost plan and matrix are minor. The Final DPP due date is to be determined. | info |
| 5.4 | The DPP presentation is scheduled for September 25. | info |

| | | It will be pres | The following umed to be correc | represents a summary of our at unless we are notified within | conference. n seven (7) days of issuance. | |
|--|---|-----------------|--|---|--|-----------------------------|
| Project Reference: Project No.: Date Submitted: Submitted by: This Confirms Our Personal Conference of | | | is Family Housii 3 (UCR #95631 Time: | | | |
| | | 8/28/03 | 10:00 AM | M UCR-BANN | JCKBURN | |
| Persons | Attending: | | | | | |
| Persons Attending:UCRAndy PlumleyUCRSusan MarshburnUCRFernand McGinnis | | | UCR UCR | Nita Bullock Kieron Brunelle | RLB RLB | Rebecca Binder Kim Walsh |
| Distribu | tion: Kieron Brunelle (for distribut | on) | | | | |
| Subject: | Draft DPP Overview | | | | | |
| ltem: | Description: | Responsibilit | <u>y: Date:</u> | | | |
| 1.0 | The Draft DPP will be due in 2-3 week will confirm the exact date and number copies required. | | R | 2.0 | The 10/7/03 DRB and 10/21/03 C presentations will be "PowerPoint Project is scheduled to go to the P early 2004. | ". The |

- 3.0 Fencing of the Agricultural Fields (relocate RLB existing as required to maintain fields perimeter from Phase I project) shall be included in the DPP
- 4.0 RLB will provide a color code legend for Site Info Diagram 4.4
- 5.0 Reference to Recreation Fields construction RLB section shall be included in section 4.
- 6.0 General interface between electrical service MEHA POC at lowa and the potential future POC at a duct bank extension shall be addressed in section 5.
- 7.0 RLB will revise the dates indicated in figure RLB 1.3

7.2 SELECTED BIBLIOGRAPHY

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Hanbury Evans Wright Vlattas + Company, Kennedy/Jenks, Strategic Plan for Housing Planning Committee, UCR Planning Team, Webb Design. *University of California Riverside, Strategic Plan for Housing.* (March 2003). 7.0 Appendix

Information in a letter to Eli Yomtov from Steve Dumvin of The Gas Company. *Gas Company Will Serve Letter*. Los Angeles, California (July 2, 2003).

(Figure 7.2-2: Will Serve Letter)

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7.0 Appendix

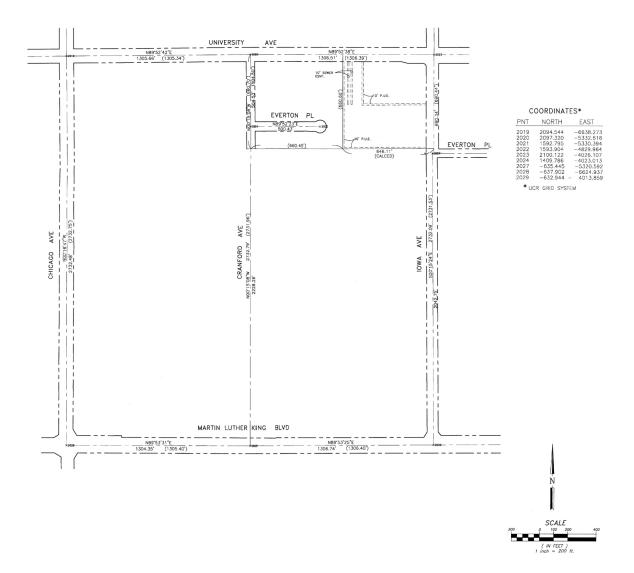


Figure 7.2-1: Boundary Survey, August 19, 2003

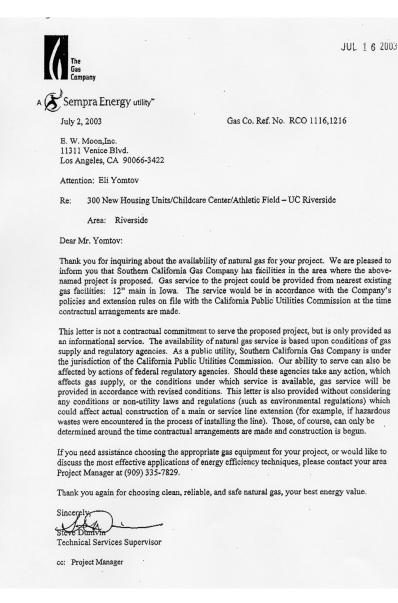


Figure 7.2-2: Gas Company Will Serve Letter

7.3 **PROJECT SCHEDULE**

UCR Project Schedule

Project Schedule

University of California, Riverside

Project:West Campus Family Student Housing ProjectProject Number:956313-1Date9/23/03

| | No. | | | 2003-2004 July 2004-2005 July ASONDJFMAMJJASONDJFMAMJJASC | | | | | | | | | | | | | | | 0005 0000 | | | | | | | | | | ~ | | ~~ | ~7 | | | | | | | | | |
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| Regents' Approval | 0 | H | + | + | + | + | Н | | • | + | + | ╀ | ┢ | Н | Η | + | + | + | + | \mathbb{H} | + | ╉ | + | + | \mathbb{H} | + | + | ╀ | \mathbb{H} | + | + | ł | + | ┝ | \mathbb{H} | + | + | + | Н | + | + |
| Preliminary Plans | 4 | | | + | + | t | | | | | | ŧ | | | | | + | t | F | Ħ | 1 | ‡ | + | F | Ħ | 1 | + | F | | + | + | t | t | F | | | + | t | Ħ | | + |
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| Agency Review | 2 | | | + | + | t | | | | + | + | t | t | | | | + | \ddagger | | | + | ‡ | $^{+}$ | F | | + | + | ╞ | | + | $^{+}$ | t | + | ╞ | | | + | \ddagger | | | + |
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DPP November 2003

7.4 BUDGET PLAN

UCR WEST CAMPUS FAMILY STUDENT HOUSING DETAILED PROJECT PROGRAM

7.0 Appendix

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